

**CITY OF CAMDEN
DEPARTMENT OF PLANNING & DEVELOPMENT**

**DIVISION OF PLANNING
&
ZONING**



**SITE PLAN APPLICATION AND
SUBMISSION ITEMS PACKAGE**

Any question please contact:

Angela Miller, Planning Board Secretary
(856) 757-7214

SITE PLAN APPLICATION AND SUBMISSION ITEMS PACKAGE

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**SITE PLAN APPLICATION
CHECKLIST**

CHECK IF COMPLETED

FOR OFFICE USE ONLY

- | | |
|---|-------|
| <u>X</u> 1. Zoning Application | _____ |
| <u>X</u> 2. Site Plan Applications & Site Plans (15 copies of both) | _____ |
| <u>X</u> 3. Proof of ownership (i.e. Deed, Tax Bill and/or Lease) | _____ |
| <u>X</u> 4. Signed Escrow Fee Agreement | _____ |

**PRIOR TO SUBMISSION OF ANY SITE PLAN APPLICATIONS EVERY
APPLICANT MUST CALL FOR A PRE-APPLICATION CONFERENCE.**

**IT IS STRONGLY ADVISED THAT THE APPROPRIATE PROFESSIONALS BE
PRESENT AT SAID MEETING.**

PRE-APPLICATION CONFERENCE FEE: \$500.00

(ACCORDING TO SECTION 577-270 OF THE CITY'S ZONING CODE)

***NOTE:**

- A. Incomplete applications will not be processed.**
- B. Submission hours are 8:30am to 4:30pm, Monday through Friday. All applications must be stamped "received" by the Division of Planning. No outside drop-offs will be processed.**
- C. All plans must be folded with *Title Block* facing upward.**
- D. Whenever public notice is required, the Division of Planning shall prepare procedures for said notification and advise applicant of its readiness.**

Revised 8/27/2020

The following checklist pertains to PLOT PLANS:

Check if Completed

For Office Use Only

- | | |
|--|-------|
| <u>X</u> 1. Name and Address of owner and applicant | _____ |
| <u>X</u> 2. Name, signature, licenses #, seal and address of engineer, land surveyor, architect, professional planner, and/or landscape architect (as applicable). | _____ |
| <u>X</u> 3. Title block denoting type of application, tax map sheet, county municipality, block and lot, and street address. | _____ |
| <u>N/A</u> 4. Key map not less the 1" – 1000" showing location of tract to surrounding street, municipal boundaries, etc. within 500'. | _____ |
| <u>X</u> 5. Schedule for required and proposed zone requirements for Lot area, frontage, setbacks, imperious coverage, parking, etc. | _____ |
| <u>X</u> 6. North arrow to top of sheet, scale and graphic scale. | _____ |
| <u>N/A</u> 7. Signature block for board chair, secretary, zoning officer/ administrative officer and engineer. | _____ |
| <u>X</u> 8. Date of property survey | _____ |
| <u>X</u> 9. Acreage of tract to nearest tenth | _____ |
| <u>X</u> 10. Date of original and all revisions | _____ |
| <u>X</u> 11. Size and location of existing or proposed structures and their dimension of setbacks | _____ |
| <u>X</u> 12. Location and dimensions of any existing or proposed streets | _____ |
| <u>X</u> 13. All proposed lot lines and area of lots in square feet | _____ |
| <u>X</u> 14. Copy of and plan delineation of any existing or proposed deed restriction | _____ |
| <u>X</u> 15. Any existing or proposed easement or land reserved or dedicated for public use | _____ |
| <u>N/A</u> 16. Existing streets, other right-of-way or easements; water courses, wetlands, soils floodplains, or other environmentally Sensitive area within 200' of tract | _____ |
| <u>X</u> 17. Topographical features of subject property from USGS 7.5 minute maps | _____ |

CHECK IF COMPLETED**FOR OFFICE USE ONLY**

- X 18. Boundary, limits, nature and extent of wooded areas,
Specimen trees and other significant physical features _____
- N/A 19. Drainage calculations _____
- N/A 20. Proposed utilities: sanitary sewer, water, storm water
management, telephone, cable TV and electric _____
- N/A 21. Soil erosion and sediment control plan if more than 5000 sq. ft. _____
- X 22. Spot and finished elevations at all property corners, corners of
Structures, existing or proposed first floor elevations _____
- N/A 23. Construction details road and paving cross-sections and profiles
if no profiles needed _____
- N/A 24. Lighting plan and details _____
- N/A 25. Landscape plan and details _____
- N/A 26. Site identification signs, traffic control signs, and directional signs _____
- N/A 27. Sight triangles _____
- N/A 28. Vehicular and pedestrian circulation patterns _____
- X 29. Parking plan indicating spaces, size and type aisle width internal
Collectors, curb cuts, drives and driveways and all ingress and
Egress areas with dimensions _____
- N/A 30. Preliminary architectural plan and elevations _____
- N/A 31. Environmental impact report, parcels 2 acres or larger _____
- X 32. Plan paper size should be 24 by 36 _____

**PURSUANT TO THE CODE OF THE CITY OF CAMDEN
(ARTICLE I, SECTION 233-4)**

SITE PLAN APPLICATION

(Please Answer ALL Questions)

APPLICANT The Phoenix Development Group, LLC

ADDRESS 111 Village Green Lane, Sicklerville, NJ 08081

TELEPHONE# 609-471-2047 **FAX#** _____

OWNER OF PROPERTY Same as Applicant
(if other than applicant) _____

ADDRESS Same as Applicant

TELEPHONE 609-471-2047

**IF APPLICANT IS INCORPORATE OR A PARTNERSHIP, LEGAL REPRESENTATION IS REQUIRED.
PLEASE PROVIDE THE FOLLOWING:**

ATTORNEY'S NAME Stuart A. Platt, Esquire

ADDRESS 40 Berlin Avenue, Stratford, NJ 08084

TELEPHONE# 856-784-8500 **FAX#** 856-784-8050

EMAIL ADDRESS platt@theplattlawgroup.com

PLEASE PROVIDE THE FOLLOWING INFORMATION BELOW:

ENGINEER AND/OR ARCHITECT NAME William P. Gilmore, P.E., Site Civil Engineering

ADDRESS 2205 Delsea Drive, Suite 7, Franklinville, NJ 08322

TELEPHONE# 856-885-8679 **FAX#** 856-513-6594

ADDRESS OF DEVELOPMENT 1660 Ferry Avenue

BLOCK NO.(S) 466 **LOT NO.(S)** 2, 3 and 4 **ZONE** R-2

PRESENT USE(S) Vacant land

DESCRIBE PROPOSED USES (S):

(attach separate sheet if needed) For the construction and/or erection of two three story

triplexes each consisting of 1,104 square feet with a consolidation of Lots 2 and 3.

IF THE ANSWER TO (A) OR (B) IS "YES", AND/OR IF APPLICANT IS A CORPORATION OR PARTNERSHIP, PLEASE PROVIDE THE FOLLOWING:

DOES THIS APPLICATION INCLUDE:

1. AN ADDITION OF 1,000 SQ. FT. OR MORE TO AN EXISTING STRUCTURE?
(Please circle) YES ☒ NO
2. AN ADDITION OF 1,000 SQ. FT. OR MORE OF PAVING AREA FOR OFF-STREET PARKING?
(Please circle) ☒ YES NO

THIS APPLICANT CERTIFIES THAT THE ABOVE INFORMATION HAS BEEN COMPLETED TO THE BEST OF HIS/HER KNOWLEDGE.

6-29-20

DATE

The Phoenix Development Group, LLC

APPLICANT'S NAME (PLEASE PRINT)

The Phoenix Development Group LLC / [Signature]

APPLICANT'S SIGNATURE

PLEASE READ

ASSESSMENT CERTIFICATION

Section A: Applicant shall complete

SECTION A

OWNER

Name of OWNER of Property The Phoenix Development Group, LLC

Address: 111 Village Green Lane, Sicklerville, NJ 08081

SEARCH Address: 1660 Ferry Avenue

Block: 466

Lot: 2, 3 and 4

Account: 0710375

Section B: Applicant shall take this form to the City of Camden Tax Office, Room 117 (1st floor) for completion to indicate whether taxes are paid up to date. Applicant must also go to the PNC Bank (Broadway & Market St) for water and sewer to make sure water/sewer is paid up to date.

Upon completion, this form shall be submitted with original application. **NO APPLICATIONS WILL BE ACCEPTED –if any money is owed for Taxes or Water/Sewer, no permit can be issued until accounts are paid in full-proof of payment must be brought back before turning application in.**

Section C:

TAX OFFICE & PNC BANK

An application for Zoning/Sign permit has been submitted to the Division of Planning. Please check your records to be certain that the account is current

I HEREBY CERTIFY THAT THE PROPERTY ASSESSMENT ARE:

Account Type	Qtr.	Due date	Amount Owed	Other
(Taxes/W&S/Other)	<u>Not billing</u>			<u>\$162966</u>
(Taxes/W&S/Other)	<u>2nd</u>	<u>5/1/26</u>	<u>- 0 -</u>	<u>\$ 6129126</u>
(Taxes/W&S/Other)				
(Taxes/W&S/Other)				

COMMENTS: _____

DATED: _____

PREPARED BY: _____

ESCROW DEPOSIT AGREEMENT BETWEEN THE CITY OF CAMDEN AND

DEPOSITOR The Phoenix Development Group, LLC

Address 111 Village Green Lane, Sicklerville, NJ 08081

Telephone No. 609-471-2047

Check No. 9621302994 + 962130295

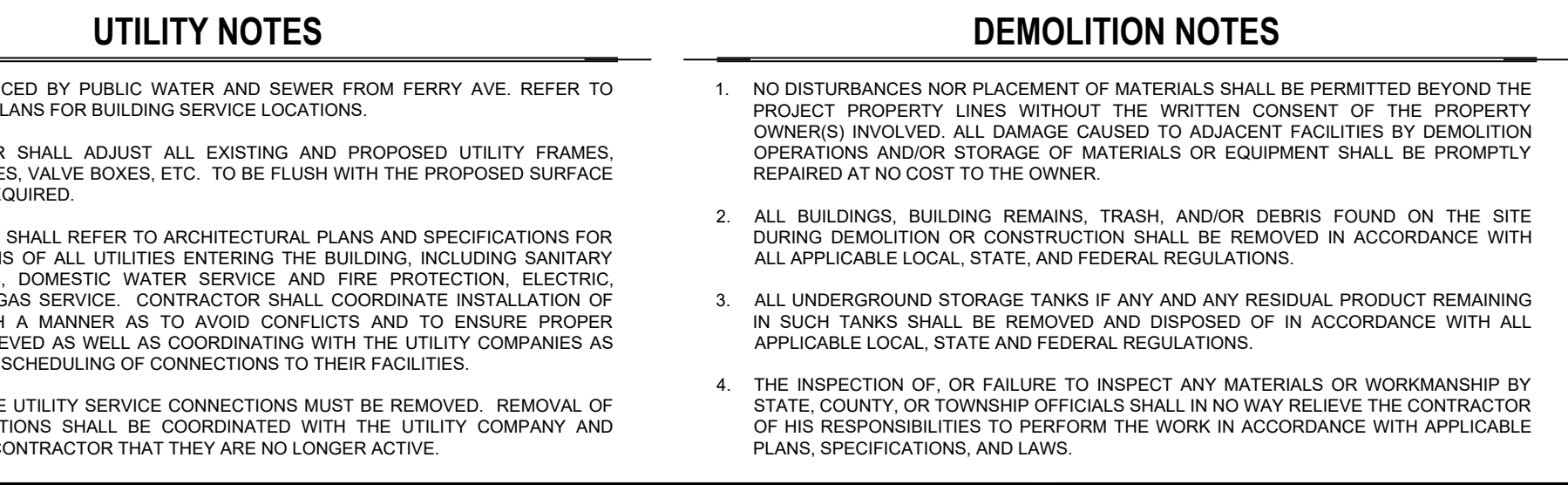
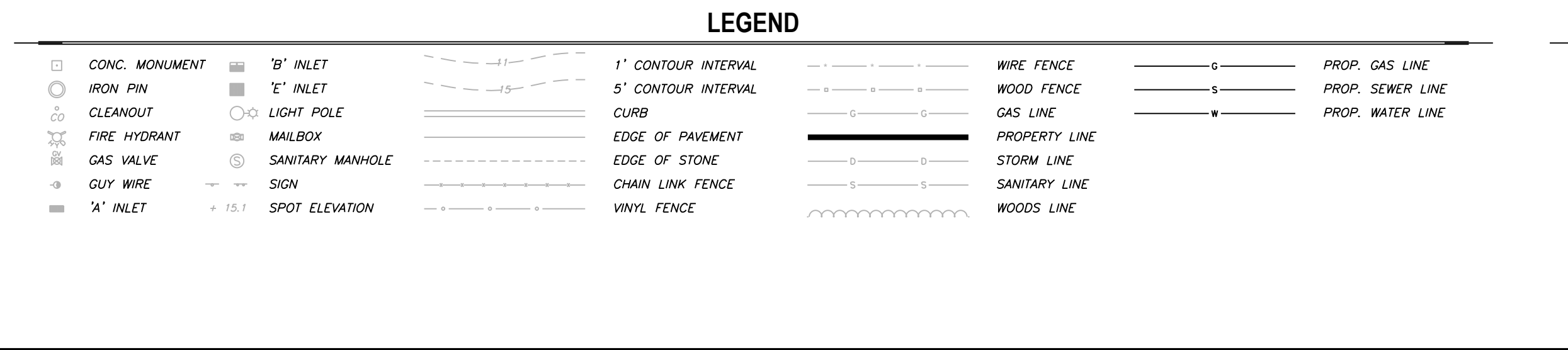
Depositor herewith deposits the sum of One Thousand Six Hundred Eighty-Six Dollars and Seventy-Seven Cents dollars (\$1,686.77) with the City of Camden in accordance with an subject to the provisions of the City of Camden Ordinance No. MC-2304, being incorporated by reference and made a part hereof, and agrees to the following:

1. Depositor's payment of said deposit is made in connection with an application for:
For the construction and/or erection of two three story triplexes each consisting
of 1,104 square feet with a consolidation of Lots 2 and 3.
At (provide address with block and lot number): 1660 Ferry Avenue, Block 466,
Lots 2, 3 and 4
2. The Treasure of the City of Camden shall be authorized to disburse to the City Engineer from the funds deposited, those fees required to be paid for the technical and professional review by the Zoning Board of Adjustment and/or Planning Board pursuant to the terms of Ordinance MC-2304.
3. All fees shall be disbursed upon reconciliation of the Engineer & Insurance Escrow Accounts by Ordinance MC-2304.
4. If there are insufficient funds in the depositor's escrow account to pay all pending bill attribute to the aforementioned project, depositor shall be notified by the appropriate agency and requested to make an additional deposit into the escrow account.
5. Depositor understands that if he/she fails to make any additional deposit required, depositor's application shall be denied.
6. Any additional deposits shall be made to the Treasure, City of Camden, by way of the Division of Planning, in accordance with the terms set forth herein unless otherwise agreed to by the depositor and the approving agency.
7. The City of Camden shall not be required to pay interest on any sums held pursuant to this agreement.

IN WITNESS WHEREOF the undersigned hereby accepts the terms and conditions of this agreement.

6-29-26
DATE:

The Phoenix Development Group LLC / Jacob B.
Applicant or Authorized Signature



<

GRADING NOTES

- ALL DRAWINGS IN THIS PLAN SET ARE MADE PART OF THIS RECORD PLAN AND ALL INFORMATION SHOWN HEREON SHALL BE CONSIDERED APPLICABLE FOR THE COMPLETION OF THIS PROJECT. INDIVIDUAL PLANS SHALL NOT BE USED SINCE THEY CONSTITUTE ONLY A PART OF THE COMPLETE SET OF PLANS FOR THIS PROJECT.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- THE SITE IS TO BE GRADED SMOOTHLY AND EVENLY IN ACCORDANCE WITH THE PROPOSED CONTOURS AND SPOT ELEVATIONS. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING A POSITIVE DRAINAGE FLOW TO ALL CATCH BASINS WITHOUT CREATING FLAT SPOTS THAT WILL RESULT IN STANDING WATER (PUDDLING OR PONDING).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS INCLUDING BUT NOT LIMITED TO BUILDING, SIDEWALK/STREET CLOSING AND DEMOLITION.
- TOPSOIL MOVED DURING THE COURSE OF CONSTRUCTION SHALL BE REDISTRIBUTED SO AS TO PROVIDE AT LEAST SIX (6) INCHES OF COVER TO ALL LANDSCAPE AREAS OF THE SITE AND SHALL BE STABILIZED BY SEEDING OR PLANTING.
- THE CONTRACTOR SHALL ADJUST ALL EXISTING AND PROPOSED UTILITY FRAMES, COVERS, MANHOLES, VALVE BOXES, ETC. TO BE FLUSH WITH THE PROPOSED SURFACE ELEVATIONS.
- ALL PAVEMENT MARKINGS SHALL CONFORM TO THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (LATEST EDITION) FROM THE U.S. DEPARTMENT OF TRANSPORTATION.
- SIDEWALKS SHALL NOT BE LESS THAN FOUR (4) FOOT IN WIDTH. SIDEWALKS SHALL BE CONSTRUCTED WITH FOUR-INCH THICK CONCRETE, 4,500 PSI (MINIMUM).
- A MINIMUM SLOPE OF 2.0% SHALL BE MAINTAINED IN ALL GRASS AREAS AND A MINIMUM SLOPE OF 0.75% SHALL BE PROVIDED ON ALL PAVED AREAS.
- ALL PAVEMENT SUBGRADE PREPARATION MUST BE APPROVED BY THE CITY ENGINEER.
- ALL CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,500 PSI.
- ALL SOIL BROUGHT ONTO SITE WILL BE CERTIFIED CLEAN SOIL.

GENERAL NOTES:

- DETERMINE THE PROPER SIZE AND NUMBER OF SIGN POSTS FROM THE APPROPRIATE GRAPH.
- PUNCH OUT APPROPRIATE KNOCKOUTS AND ATTACH THE SIGN.
- DETERMINE THE PROPER SIZE ANCHOR POST FROM THE SQUARE STEEL POSTS TABLE ON THIS SHEET.
- DRIVE THE ANCHOR POST INTO THE GROUND USING THE APPROPRIATE SIZE DRIVE CAP UNTIL ONLY ONE HOLE REMAINS ABOVE THE GROUND OR FINISHED ELEVATION OF THE CONCRETE.
- PUNCH OUT THE SIXTH KNOCKOUTS FROM THE BOTTOM OF THE SIGN POST.
- SLIDE A MINIMUM OF 6" OF THE SIGN POST INTO THE ANCHOR POST.
- ATTACH THE SIGN POST TO THE ANCHOR POST WITH ONE 3/4" CORNER BOLT AND NUT (OR ALTERNATELY ONE 3/4" BOLT AND NUT) THROUGH THE TOP HOLE OF THE ANCHOR POST.
- TIGHTEN THE BOLT AND NUT BY THE TURN-OF-THE-NUT METHOD. BRING NUT TO A SNUG CONDITION TO ENSURE THAT ALL PARTS ARE BROUGHT TOGETHER INTO FULL CONTACT WITH EACH OTHER, THEN TIGHTEN AN ADDITIONAL 1/2 TURN.
- FOR INSTALLATIONS IN CONCRETE, PLACE A 18" LONG ANCHOR SLEEVE OUTSIDE THE ANCHOR POST SO THAT THE TOPS OF THE ANCHOR POST AND ANCHOR SLEEVE ARE EVEN. SELECT THE PROPER SIZE ANCHOR SLEEVE FROM THE SQUARE STEEL POSTS TABLE ON THIS SHEET.
- SIGN POSTS AND BRACE SLEEVES SHALL HAVE 3/4" DIAMETER HOLES OR DIE-CUT KNOCKOUTS ON 1" CENTERS ON ALL FOUR SIDES. ANCHOR POSTS AND ANCHOR SLEEVES SHALL HAVE 3/4" DIAMETER HOLES ON 1" CENTERS ON ALL FOUR SIDES.

RESERVED
PARKINGPENALTY
\$250 1ST OFFENSE
SUBSEQUENT OFFENSES
\$250 MIN. AND/OR
UP TO 90 DAYS
COMMUNITY SERVICE
TOW-AWAY ZONEVAN
ACCESSIBLEMIN. 10"x12" STEEL SIGN
WITH BLACK LEGEND ON
WHITE, REFLECTORIZED
BACKGROUND R(NJ)7AWHERE APPLICABLE
R7-Bb

NOTE: TO BE POST MOUNTED

FINISH GRADE

HANDICAP SIGN DETAIL

N.T.S.

5' THICK CONC. SIDEWALK, 4,000 P.S.I.
W/BROOM FINISH

4" THICK CRUSHED STONE

CONCRETE WALK DETAIL

N.T.S.

TRAFFIC SIGN DETAILS

N.T.S.

H.C. SIGN (TYP.)

H.C. RAMP

CONC. SIDEWALK

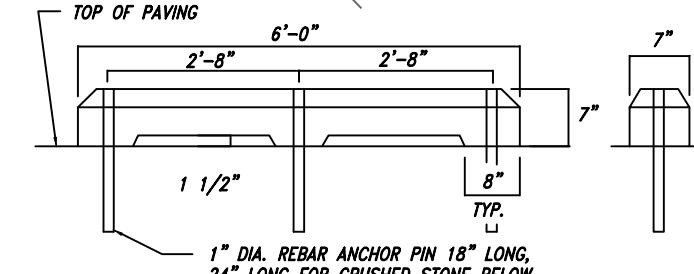
4" WIDE BLUE
PAINTED LINES
& SYMBOLS

HANDICAP PARKING DETAIL

N.T.S.

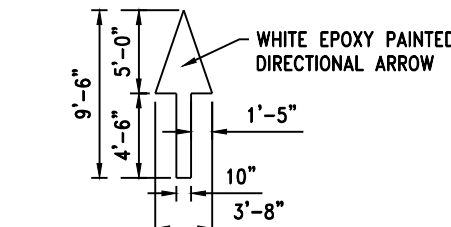
LEGEND

CONC. MONUMENT	"B" INLET	1" CONTOUR INTERVAL	WIRE FENCE	PROP. GAS LINE
IRON PIN	"E" INLET	5' CONTOUR INTERVAL	WOOD FENCE	PROP. SEWER LINE
CLEANOUT	LIGHT POLE	CURB	GAS LINE	PROP. WATER LINE
FIRE HYDRANT	MAILBOX	EDGE OF PAVEMENT	PROPERTY LINE	PROP. CONTOUR
GAS VALVE	SANITARY MANHOLE	EDGE OF STONE	STORM LINE	PROP. SWALE
GUY WIRE	CHAIN LINK FENCE	VINYL FENCE	SANITARY LINE	PROP. SPOT ELEVATION
"A" INLET	SPOT ELEVATION		WOODS LINE	



CURB STOP DETAIL

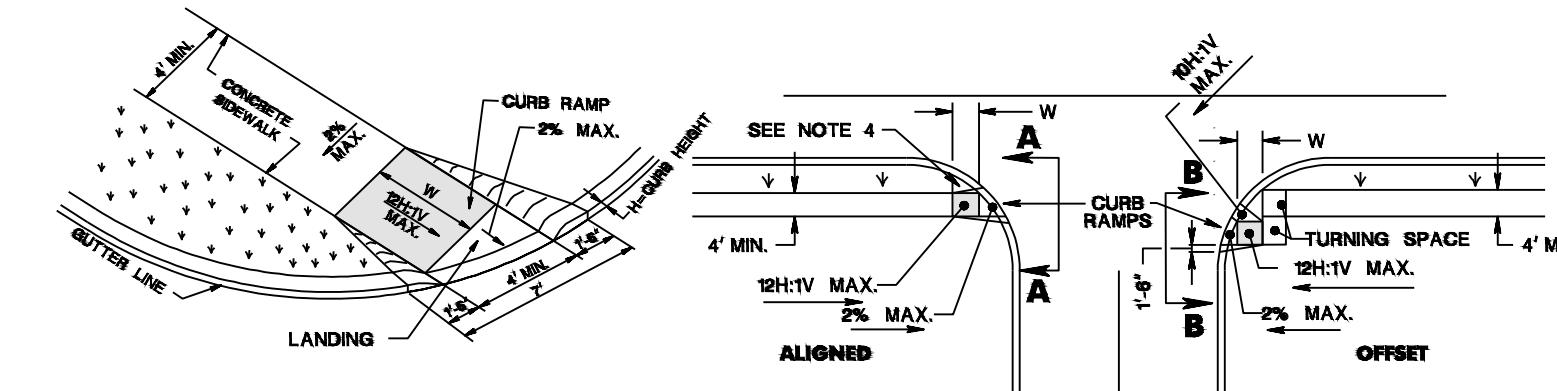
N.T.S.



PAINTED ARROW DETAIL

N.T.S.

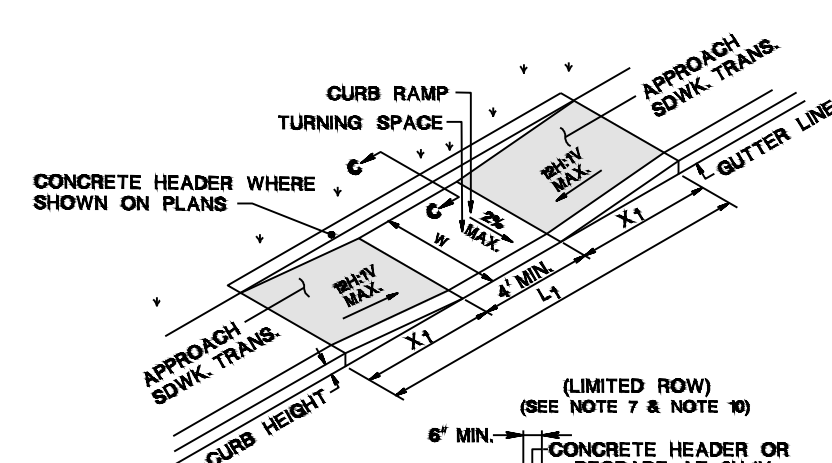
ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO "THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES," AND THE NJDOT STANDARD SPECIFICATIONS, LATEST EDITION



CURB RAMP TYPE 5

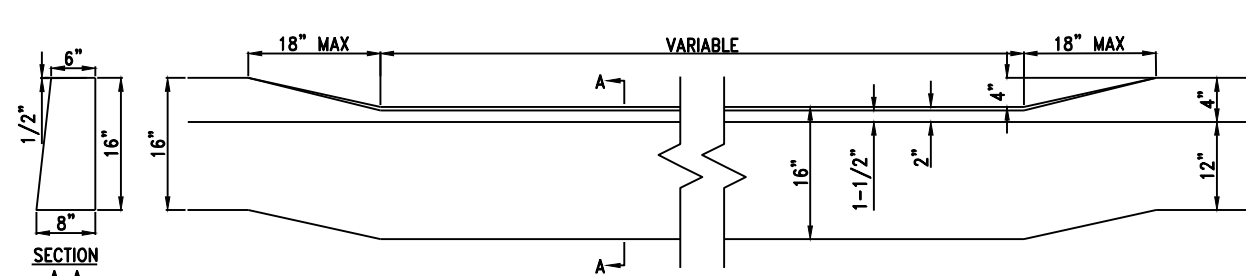
CURB RAMP TYPE 5 DETAIL

N.T.S.



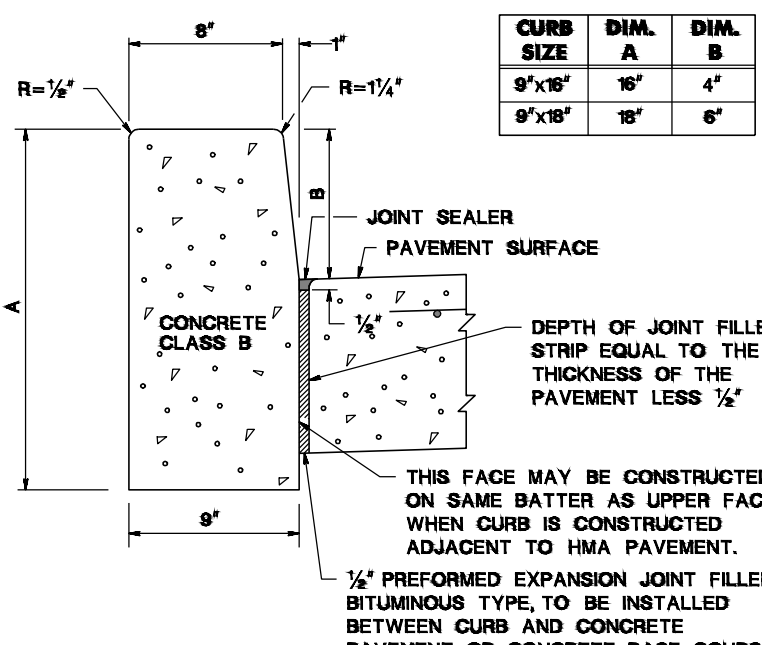
CURB RAMP TYPE 7 DETAIL

N.T.S.



NJ DOT DEPRESSED CURB DETAIL

N.T.S.



NJ DOT VERTICAL CURB DETAIL

N.T.S.

GRADING PLAN

PREPARED FOR
THE PHOENIX DEVELOPMENT GROUP, LLC
PLATE 8.02, BLOCK 466, LOTS 2, 3, & 4
1660 FERRY AVENUE
SITUATED IN THE
CITY OF CAMDEN
COUNTY OF CAMDEN, STATE OF NEW JERSEY

SITE CIVIL ENGINEERING

2205 DELSEA DRIVE, SUITE 7
FRANKLINVILLE, NEW JERSEY 08322
(856) 885-8679
FAX (856) 513-6594
N.J. CERTIFICATE OF AUTHORIZATION No. GA28188600

FILE NUMBER
1189-2026
CHECKED BY: WG
DRAWN BY: JCL
SCALE: 1"=10'
PROJECT NO. 1189
DATE: FEBRUARY 12, 2026
SHEET 2 OF 2

William P. Gilmore
WILLIAM P. GILMORE, P.E.
NEW JERSEY PROFESSIONAL ENGINEER NO. 24604783100

2 04/10/26 REVISED PER CLIENT'S REVIEW MPG
1 03/02/26 REVISED PARKING MPG
REV. DATE DESCRIPTION BY