

Project: Cloud 9 Luxe Waterfront Sky Lounge LLC
Property: 10 Delaware Avenue (Block 140.01, Lot 2)

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LIGHTING PLAN NARRATIVE

Project: Cloud 9 Rooftop Entertainment Venue

Location: 10 Delaware Avenue, Camden, NJ 08102

Facility: Existing 4th Floor / Roof Deck of Waterfront Parking Garage

Prepared For: City / Planning & Zoning / Engineering Review

1. Project Description

This lighting plan has been prepared for the proposed **Cloud 9 Rooftop Entertainment Venue** to be located on the upper deck of the existing municipal parking structure at **10 Delaware Avenue, Camden, New Jersey**. The rooftop layout includes entertainment and support components such as the **stage, dance floor, cabanas, bar areas, hi-top seating, VIP parking, entry sequence, elevator lobby access, bathrooms, food truck zone, and back-of-house staging area**.

The lighting design intent is to provide a safe, functional, and visually controlled rooftop environment while minimizing glare, spill light, and off-site impacts on adjoining streets, nearby properties, and the broader waterfront context.

2. Lighting Design Objectives

The proposed lighting system is intended to achieve the following:

- Provide adequate illumination for safe pedestrian circulation, entry, queuing, and emergency movement
- Support rooftop entertainment operations without creating excessive glare or nuisance light
- Maintain controlled light levels in the VIP parking and service circulation areas
- Direct lighting downward and inward toward the occupied rooftop program
- Prevent light trespass beyond the property perimeter to the greatest extent practical
- Avoid visual disturbance to traffic along Delaware Avenue and surrounding public areas
- Provide code-consistent emergency and egress illumination at exits, stairs, and access routes

3. Basis of Design

The lighting layout is based on the currently proposed rooftop arrangement, which includes:

- Main entry and elevator lobby access on the west side
- VIP parking area near the entry / elevator zone
- Central dance floor and stage
- Bar and seating/cabana zones along the roof perimeter

- Support/service functions including bathrooms, food trucks, and staging/back-of-house areas

The lighting system is divided into functional zones so that each area receives an appropriate light level based on actual use rather than uniform over-lighting of the entire roof deck.

4. Proposed Lighting Zones

4.1 Entry / Elevator Lobby / Access Control Zone

This zone includes the roof-level arrival sequence, elevator lobby interface, entry control point, and immediate queuing/welcome area. It requires the most consistent white-light illumination for:

- guest arrival safety
- ID/security verification
- ADA route visibility
- camera visibility
- emergency access

Recommended fixture type: shielded wall-mounted and low-profile pole or bollard fixtures

Target lighting character: uniform, glare-controlled, neutral white

Design intent: brighter than lounge areas, but not excessive

4.2 VIP Parking / Valet Zone

The VIP parking area adjacent to the entry/elevator zone requires controlled illumination for:

- vehicle maneuvering
- valet operation
- pedestrian/vehicle conflict reduction
- ADA stall visibility
- CCTV and security monitoring

The ADA stall and VIP parking spaces shown on the rooftop plan should remain visibly marked and illuminated without creating upward glare.

Recommended fixture type: full cut-off pole-mounted luminaires or wall-mounted garage-edge fixtures

Design intent: safe circulation and visibility with no direct light source exposure to drivers

4.3 Stage / Dance Floor Zone

The stage and dance floor are the primary activity areas. Lighting in this zone should distinguish between:

- architectural/site lighting for circulation and safety
- event lighting for entertainment effect

For municipal approval purposes, the permanent site lighting should be documented separately from entertainment/event lighting.

Permanent site lighting in this zone should:

- illuminate perimeter walking paths and transitions
- define edges and changes in direction
- support safe movement during non-performance periods

Entertainment lighting should be limited as follows:

- no uncontrolled searchlights
- no unshielded beam projection off site
- no light sources aimed toward adjacent parcels or roadways
- flashing/event effects to remain internal to stage operation and subject to event controls

4.4 Cabanas / Lounge / Hi-Top Seating Zones

These rooftop hospitality areas require lower-intensity ambient lighting to create comfortable visibility without over-illuminating the site perimeter.

Recommended fixture type:

- concealed linear LED under seating or planter edges
- shielded decorative downlights
- low-level bollard/path fixtures
- warm accent lighting at cabanas

Design intent:

- pedestrian comfort
- table visibility
- low glare
- minimal edge spill

Because these areas are located near roof edges, shielding and inward aiming are critical.

4.5 Bathroom / Food Truck / Back-of-House / Service Areas

Service zones require practical white-light illumination for staff operation, maintenance, deliveries, cleaning, and nighttime safety.

Recommended fixture type:

- wall-mounted full cut-off LED fixtures
- canopy/task lighting at service points
- vandal-resistant utility fixtures where required

Design intent:

- adequate operational visibility
- no decorative over-lighting
- minimized spill toward perimeter edges

4.6 Egress Paths / Exit Doors / Stair Access

All designated exit points, stair access routes, and emergency egress paths must remain illuminated during occupancy and emergency conditions. The operational plan already confirms the venue relies on clearly marked exits, stair access points, and emergency lighting controls.

Operational & Management Plan

This includes:

- exit discharge direction at roof level
- approach to stair doors
- perimeter circulation leading to exits
- emergency transfer power / battery-backed units where required

5. Lighting Performance Criteria

The proposed lighting system shall be designed to satisfy the following engineering principles:

5.1 Full Cut-Off / Shielded Fixtures

All permanent exterior fixtures shall be full cut-off or fully shielded so that light is directed downward onto the intended surface and not emitted above the horizontal plane.

5.2 Internal Orientation

Fixtures located near the roof perimeter shall be aimed inward toward occupied areas and away from adjacent properties, streets, and the waterfront edge.

5.3 Glare Control

Lighting equipment shall be selected and mounted to avoid direct glare visible to:

- neighboring properties
- pedestrians below
- public streets
- drivers entering and exiting the garage

5.4 Light Trespass Control

The design intent is to maintain rooftop illumination within the active occupied areas and reduce spill light beyond the property boundary to the greatest extent practical through fixture shielding, aiming, setback, and mounting height control.

5.5 Uniformity

Circulation areas, parking zones, and entry points shall maintain reasonably uniform illumination to avoid dark spots or abrupt contrast conditions.

6. Recommended Fixture Schedule Concept

Below is a preliminary consultant fixture schedule suitable for planning submission.

Fixture Type	Description	Typical Use Area
L1	Full cut-off pole-mounted LED area light	VIP parking / valet zone
L2	Shielded wall-mounted LED fixture	Entry, elevator lobby, service walls
L3	Low-level bollard / path light	Pedestrian circulation, lounge edges
L4	Recessed / concealed linear LED	Cabana seating, planter edges, accent zones
L5	Architectural downlight	Bar zones, covered seating
L6	Emergency egress / battery-backed fixture	Exit routes, stair access, emergency paths
L7	Controlled stage/event lighting	Stage only; separate from permanent site lighting

7. Mounting Height Recommendations

For municipal review, the following mounting-height strategy is recommended:

Fixture Type	Recommended Mounting Height
Pole lights at VIP/parking	12–16 ft max
Wall lights	8–12 ft
Bollards	3–4 ft
Decorative/cabana accents	low-level / concealed
Stage/event lighting	as required by event rigging, aimed internally

Lower mounting heights are preferred at the roof perimeter to reduce glare and spill.

8. Lighting Control Strategy

The lighting system should be controlled by programmable switching or time-based control to match actual venue operation.

Proposed control modes:

- **Mode A – Pre-opening / Cleaning / Staff**
- **Mode B – Guest Arrival / Standard Operation**
- **Mode C – Peak Event / Entertainment**
- **Mode D – Late Night Reduced Output**
- **Mode E – Emergency / Egress Only**

Late-night dimming should be used in lounge/perimeter areas after peak hours, while maintaining full illumination at:

- exits
- stair access
- entry control
- VIP/vehicle conflict points
- security observation points

9. Photometric Intent by Area

For planning-stage submission, the photometric concept should be described as follows:

Area	Lighting Intent
Entry / elevator	high visibility, uniform safety lighting
VIP parking / valet	controlled vehicular and pedestrian lighting
Dance floor / stage surrounds	circulation lighting only; event lighting separate
Cabanas / seating	low-to-medium ambient lighting
Bars	moderate task + ambient lighting
Back-of-house / bathrooms / food truck	practical service lighting
Exits / stairs	continuous compliant egress lighting

10. Security and Surveillance Coordination

The operational plan indicates the use of professional security staff and monitored access control.

The lighting design should therefore support:

- facial visibility at entry checkpoints
- clear surveillance of queue and arrival areas
- visibility in VIP parking and circulation paths
- reduced shadowing in back-of-house/service areas

Lighting and CCTV positions should be coordinated so fixtures do not wash out camera views or create excessive backlight.

11. Compatibility with Rooftop Noise / Operations Strategy

The noise mitigation report states that the project uses spatial organization, centralization of high-activity zones, and perimeter controls to reduce off-site impacts.

Noise Mitigation Plan outlining...

The lighting plan follows the same design logic:

- higher-intensity activity is concentrated internally
- perimeter edges use lower, shielded lighting
- stage effects remain inward-focused
- quiet buffer zones receive softer illumination

This coordinated approach improves compatibility with surrounding land uses and strengthens the approval package.

12. Required Drawing Notes for Plan Sheet

Add these notes to the lighting sheet:

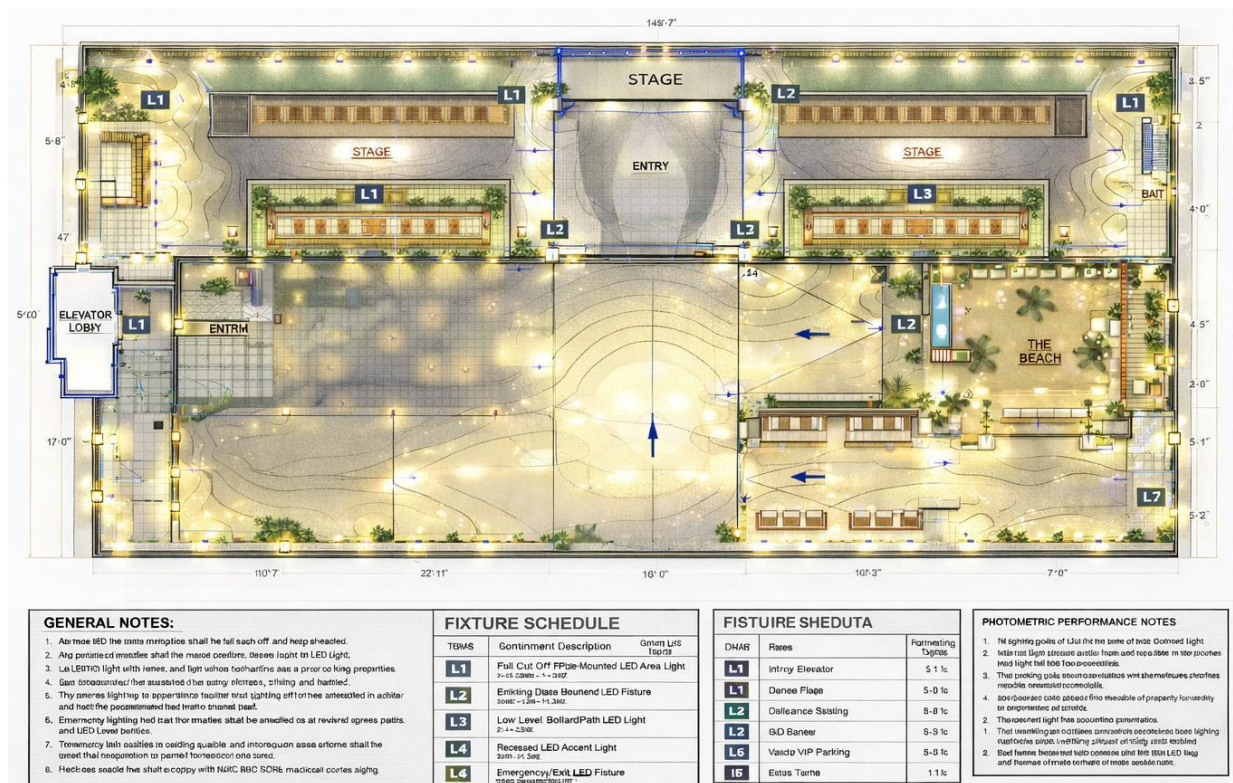
1. All exterior luminaires shall be full cut-off / fully shielded.
2. All rooftop perimeter fixtures shall be aimed inward toward the occupied roof area.
3. No fixture shall create direct glare onto Delaware Avenue or adjacent properties.
4. Lighting levels shall be controlled to minimize spill beyond the property boundary.
5. Stage/event lighting is separate from permanent life-safety and site lighting.
6. Emergency lighting and exit illumination shall be provided at all required means of egress.
7. Final fixture cutsheets, mounting details, and photometric calculations shall be submitted with permit drawings.
8. All electrical work shall be installed in accordance with the approved electrical permit documents.

13. Engineering Conclusion

Based on the proposed Cloud 9 rooftop layout, a controlled rooftop lighting system can be implemented in a manner that supports:

- safe public occupancy
- adequate vehicular and pedestrian visibility
- security monitoring
- operational functionality
- reduced glare and off-site light spill

The proposed lighting approach relies on **full cut-off shielded fixtures, inward orientation, controlled mounting heights, dimmable operation, and separate treatment of entertainment lighting versus permanent site lighting.** When finalized with fixture cutsheets and photometric calculations, the lighting system will be suitable for municipal planning, engineering, and safety review in support of the Cloud 9 rooftop venue application.



FIRE & LIFE SAFETY COMPLIANCE REPORT

Project: Cloud 9 Rooftop Entertainment Venue

Location: 10 Delaware Avenue
Camden, New Jersey 08102

Existing Building: 4-Story Municipal Parking Structure

Proposed Use: Rooftop Assembly / Nightclub Venue

Prepared for:

City Planning Review / Fire Marshal Review

1. Executive Summary

This report evaluates the fire and life safety compliance of the proposed **Cloud 9 Rooftop Entertainment Venue** located on the existing roof deck of the municipal parking garage at **10 Delaware Avenue, Camden, NJ**.

The project represents an **adaptive reuse of the existing roof deck** without modification to the building footprint or structural envelope. The venue includes:

- stage and dance floor
- seating and cabana areas
- bar service areas
- circulation areas
- service support functions

The evaluation confirms that the rooftop assembly use can operate within the life safety provisions of the **2018 International Building Code (IBC)** and relevant **NFPA standards**, provided that the identified exit paths, travel distances, and fire protection provisions are maintained.

The existing parking structure provides multiple stair and elevator cores connecting the roof deck to grade-level discharge points. These access points serve as the primary means of egress for the proposed assembly occupancy.

Based on the analysis provided in this report, the rooftop venue can meet applicable life safety requirements through the following:

- Adequate exit capacity
- Acceptable travel distance to exits
- Clearly defined egress pathways
- Controlled occupant load management
- Fire department access via existing garage circulation
- Integration with existing building fire protection systems

2. Applicable Codes and Standards

The analysis in this report references the following codes and standards:

Building Codes

- **International Building Code (IBC) 2018**

Relevant chapters:

- Chapter 3 — Occupancy Classification
- Chapter 5 — Building Height and Area
- Chapter 10 — Means of Egress

Fire Codes

- **NFPA 1 – Fire Code**
- **NFPA 101 – Life Safety Code**

Fire Protection Systems

- **NFPA 13 – Automatic Sprinkler Systems**
- **NFPA 72 – Fire Alarm Systems**

Accessibility

- **IBC Chapter 11 – Accessibility**

3. Building Description

Item	Description
Building	Existing 4-story parking garage
Construction	Reinforced concrete parking structure
Roof Level	Open rooftop deck
Proposed Use	Assembly / nightclub entertainment
Total roof area	~50,000 SF
Structural type	Open-air deck

The rooftop venue is positioned within the existing roof deck area and does not introduce additional building height or expansion.

4. Occupancy Classification

According to **IBC 2018 Section 303**, assembly occupancies include:

Assembly Group A-2: Uses intended for food and/or drink consumption including nightclubs and bars.

The Cloud 9 rooftop venue is therefore classified as:

Assembly Group A-2

This classification is appropriate because the venue includes:

- bar service
- music and entertainment
- seating areas
- dance floor

5. Occupant Load Analysis

Occupant load is calculated according to:

IBC 2018 Table 1004.5

For assembly areas without fixed seating:

Area Type	Occupant Load Factor
Dance floor / assembly	7 SF per person
Standing space	5 SF per person
Tables and chairs	15 SF per person

Estimated Occupant Load

Assuming approximately **18,000 SF active venue area**

Calculation:

Dance / assembly area
 $\approx 10,000 \text{ SF} \div 7 \text{ SF/person}$
= 1,430 occupants

Seating / cabana areas
 $\approx 8,000 \text{ SF} \div 15 \text{ SF/person}$
= 530 occupants

Estimated Maximum Occupancy

Total \approx 1,960 persons

However, the operational management plan limits capacity to approximately:

900 – 1,000 occupants

This controlled occupancy provides a substantial safety margin relative to theoretical maximum code load.

6. Means of Egress

Means of egress are evaluated in accordance with:

IBC Chapter 10

The roof deck is served by existing vertical circulation elements including:

- enclosed stair towers
- elevator lobby
- parking ramp circulation to lower levels

Number of Exits

IBC 2018 Table 1006.3.2 requires:

Occupant Load	Required Exits
500+ occupants	Minimum 3 exits

The existing parking structure provides **multiple stair cores**, satisfying the requirement for multiple independent exits.

Exit Width Calculation

IBC 2018 Section 1005 requires exit capacity based on occupant load.

Exit Capacity Factors

Element	Capacity Factor
Stairs	0.3 inches per occupant
Doors / corridors	0.2 inches per occupant

Example Exit Width Requirement

For **1,000 occupants**

Stair width required:

$$1,000 \times 0.3 \text{ in} \\ = \mathbf{300 \text{ inches}}$$

$$= \mathbf{25 \text{ feet total stair width}}$$

With multiple stair towers within the garage, this requirement can be distributed across the stair exits.

7. Travel Distance

IBC Section 1017

Maximum travel distance for assembly occupancy:

Condition	Max Distance
Non-sprinklered	200 ft
Sprinklered	250 ft

The rooftop plan geometry indicates typical travel distances well within these limits because exits are distributed along the garage perimeter and internal cores.

8. Fire Protection Systems

The existing parking structure may include:

- standpipe systems
- fire alarm systems
- emergency lighting

If sprinkler systems are present, they should extend coverage to enclosed service areas associated with the rooftop venue.

Additional portable fire extinguishers should be provided in accordance with **NFPA 10**.

9. Fire Department Access

The site provides excellent fire department access due to:

- open perimeter exposure
- accessible roof deck
- multiple stair towers
- ramp access through garage levels

Emergency personnel can reach the rooftop via:

- stair towers
- internal ramps
- elevator access

10. Emergency Lighting

Emergency lighting shall be provided in accordance with:

IBC Section **1008**
NFPA 101

Emergency lighting must illuminate:

- exit doors
- stair entrances
- egress pathways
- assembly areas

Emergency lighting systems shall operate on battery backup or emergency power.

11. Exit Signage

Exit signs must be provided at:

- stair entrances
- exit discharge points
- directional egress routes

All signage shall comply with **IBC Section 1013**.

12. Crowd Management

Assembly occupancies exceeding **250 occupants** require trained crowd managers.

Recommended staffing ratio:

1 crowd manager per 250 occupants

For 1,000 occupants:

Minimum recommended:

4 crowd managers

Responsibilities include:

- monitoring exit access
- preventing overcrowding
- assisting evacuation if required

13. Fire Safety Operational Measures

The venue operational plan includes:

- controlled entry points
- security monitoring
- crowd management staff
- defined exit routes

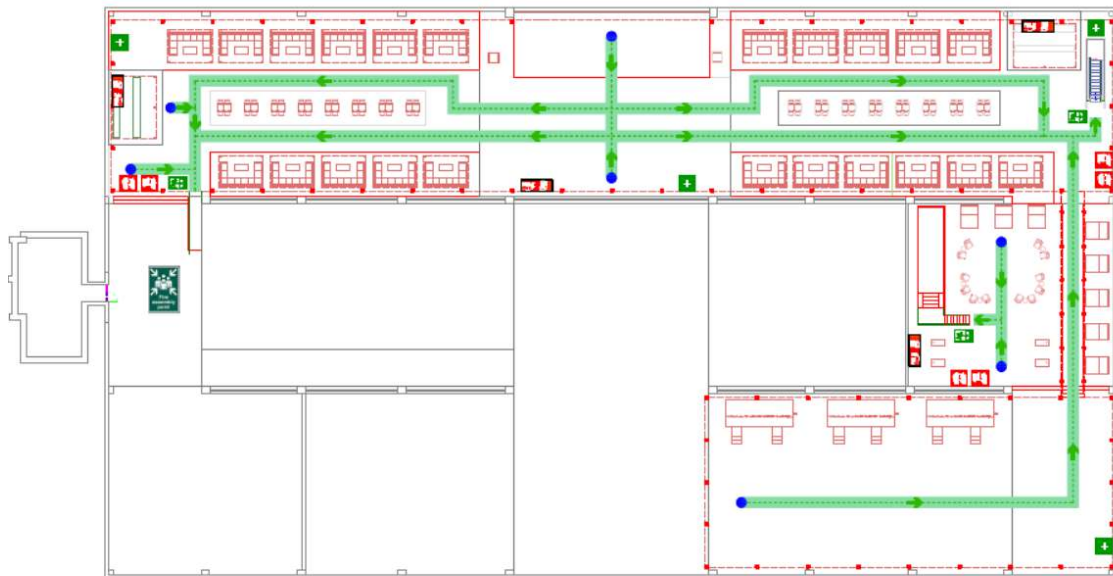
These measures significantly enhance life safety performance during peak occupancy periods.

14. Compliance Conclusion

Based on the analysis presented in this report, the proposed **Cloud 9 Rooftop Entertainment Venue** can comply with the life safety provisions of the **2018 International Building Code** and applicable **NFPA standards** provided that:

- occupant loads remain within operational limits
- required exit routes remain unobstructed
- emergency lighting and signage are installed
- fire protection systems remain operational
- crowd management procedures are implemented

The existing parking structure configuration provides sufficient vertical circulation, exit capacity, and emergency access to support the proposed rooftop assembly use.



○ FIRE SAFETY PLAN

Stair Distribution Scenarios

The following table shows minimum average clear width required per stair, depending on number of usable stairs serving the roof.

Number of Stairs	Required Total Stair Width	Average Clear Width per Stair
2 stairs	224.7 in	112.35 in each
3 stairs	224.7 in	74.9 in each
4 stairs	224.7 in	56.2 in each

Engineering interpretation

- **2 stairs** is generally impractical for this occupancy because each stair would need over **9'-4" clear**
- **3 stairs** is feasible if each stair provides about **6'-3" clear**
- **4 stairs** is much more favorable if existing garage stairs are narrower

15. Preliminary Exit Capacity Conclusion

For the recommended operational cap of **749 occupants**:

- the roof should be served by **minimum 3 remote exits**
- aggregate stair width required = **224.7 inches**
- aggregate door/corridor width required = **149.8 inches**

Consultant recommendation

Before final submission to Fire Marshal, field-verify and tabulate:

1. number of existing roof-serving stair towers
2. clear width of each stair
3. clear width of each egress door
4. exit discharge continuity to grade
5. remoteness / separation distance

Without those measured dimensions, the calculation remains **preliminary planning-stage only**.

16. Travel Distance

The rooftop plan is roughly **300 ft long**, with multiple access points distributed along the perimeter and the elevator/entry zone on the west side.

Preliminary conclusion

The final architect/fire consultant should verify travel distance on the life-safety plan. Based on the roof geometry, travel distance appears **potentially manageable** if the exits are

distributed at remote locations and the central assembly area has direct access to multiple paths.

17. Crowd Manager Requirement

For a controlled assembly use of this size, crowd management should be included in operations.

Recommended ratio:

- **1 crowd manager per 250 occupants**

For **749 occupants**:

Required minimum:

3 crowd managers

This aligns with the operations/security logic already described in the Operational & Management Plan.

18. Final Calculation Summary

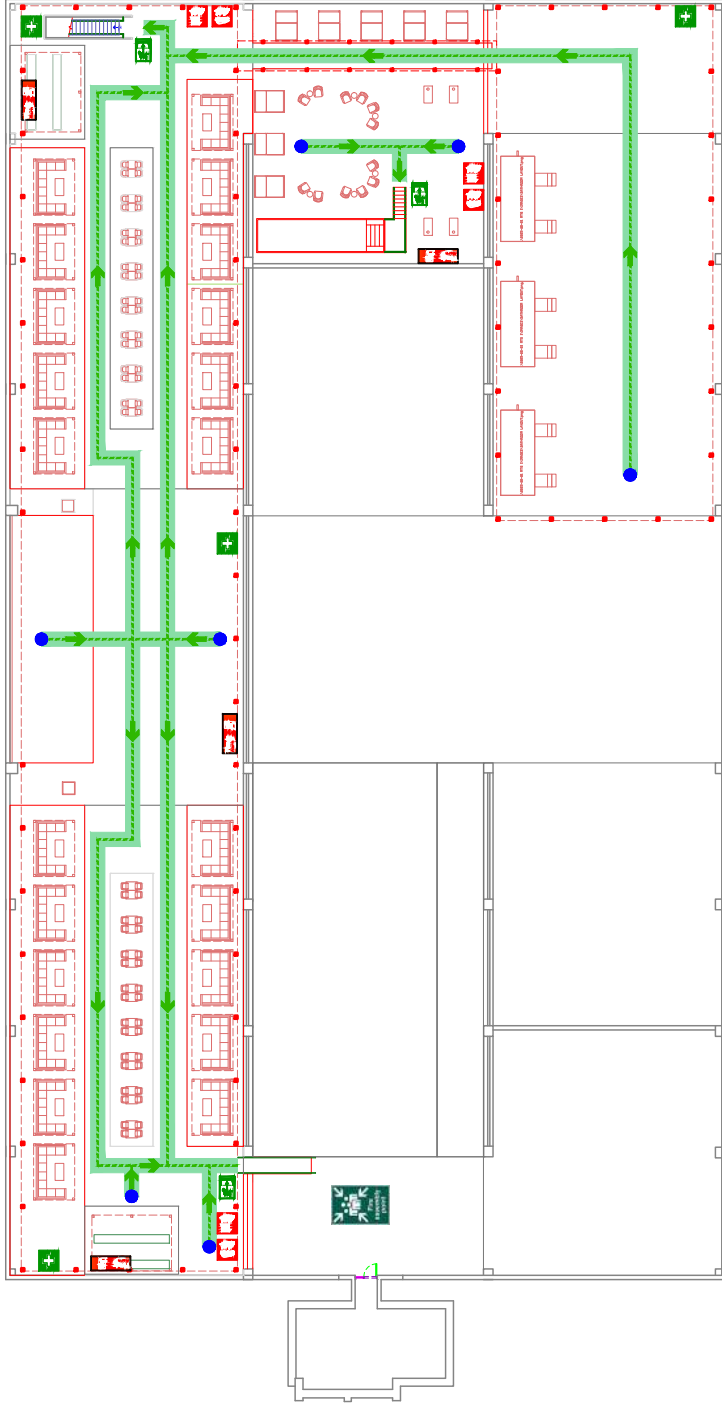
Item	Value
Roof-level venue classification	A-2 Assembly
Preliminary theoretical hybrid occupant load	1,149 persons
Recommended controlled operational cap	749 persons
Required minimum exits	3 exits
Required aggregate stair width	224.7 in
Required aggregate non-stair width	149.8 in
Recommended crowd managers	3 minimum

19. Engineering Statement

Based on the current rooftop layout and planning-stage code analysis, the proposed Cloud 9 rooftop venue may be advanced using a **controlled maximum occupant load of 749 persons**, subject to final confirmation of:

- measured stair widths
- door widths
- exit remoteness
- travel distance
- Fire Marshal review
- final life-safety plan


This controlled occupancy cap represents the most defensible engineering basis for zoning, planning, and preliminary fire/life safety review.



FIRE SAFETY PLAN

SCALE 1/16" = 1'-0"













**Fire
assembly
point**

In case of fire or an emergency
leave through the nearest exit
& assemble at the ASSEMBLY
POINT

LEGEND

- | | | | |
|---|-------------------------|---|--------------------------|
|  | YOU ARE HERE |  | EMERGENCY EXIT DIRECTION |
|  | FIRE EXTINGUISHER |  | ASSEMBLY POINT |
|  | FIRE ALARM |  | FIRST AID KIT |
|  | REINFORCED FIRE HYDRANT |  | EXIT DIRECTION |

Operational & Management Plan

Project: Cloud 9 Rooftop Entertainment Venue
Location: 10 Delaware Avenue, Camden, NJ 08102
Facility: Rooftop Deck – Waterfront Parking Garage
Zone: MW-2 Mixed Waterfront Zone

1. Operational Overview

Cloud 9 is proposed as a **controlled rooftop entertainment venue** located on the roof deck of the existing **4-story municipal parking structure at 10 Delaware Avenue**.

The venue is designed to function as a **rooftop lounge / café / nightlife destination** supporting the Camden waterfront entertainment district.

The facility will operate as a **managed assembly occupancy (Group A-2)** consistent with **IBC 2018 Section 303**.

Operations will be conducted in accordance with:

- **IBC 2018 – Chapter 10 Means of Egress**
- **NFPA 101 Life Safety Code**
- **NFPA 1 Fire Code**
- **NFPA 72 Fire Alarm Systems**
- **NFPA 10 Fire Extinguishers**

Operational controls are designed to ensure **public safety, controlled occupancy, and minimal impact on surrounding properties**.

2. Hours of Operation

Proposed operational hours:

Day	Hours
Thursday	6:00 PM – 1:00 AM
Friday	6:00 PM – 2:00 AM
Saturday	6:00 PM – 2:00 AM
Sunday	5:00 PM – 12:00 AM

The venue will operate **primarily during evening hours**, which reduces conflict with daytime parking demand.

3. Occupancy Management

Occupant load will be determined based on **IBC 2018 Table 1004.5**.

Estimated maximum occupant capacity will be controlled and monitored through:

- ticketing systems
- electronic guest count tracking
- entry gate management
- trained staff oversight

Occupancy will **never exceed the permitted fire code capacity** approved by the Fire Marshal.

Real-time occupancy monitoring will ensure compliance with **NFPA 101 Life Safety Code crowd management provisions**.

4. Security Management

A professional security team will manage access control and safety.

Security measures include:

- controlled entry point
- ID verification where required
- bag checks if necessary
- licensed security personnel
- security cameras covering the venue

Security staffing levels will typically include:

Attendance	Security Personnel
Up to 200 guests	4 security staff
200–400 guests	6 security staff
400+ guests	8+ security staff

Security staff will be positioned at:

- main entrance
- rooftop perimeter areas
- stair access points
- emergency exits

All staff will be trained in **crowd management procedures consistent with NFPA 101 Section 12.7**.

5. Crowd Control Plan

To maintain safe circulation and evacuation capability, the venue will implement:

- designated circulation pathways
- clearly marked exits
- unobstructed access to stair cores
- emergency lighting and exit signage

Staff will ensure that:

- exits remain clear
- occupancy limits are respected
- emergency egress routes are maintained at all times.

In high-attendance events, **crowd managers will be assigned** in accordance with **NFPA 101 crowd manager requirements**.

6. Noise Control Management

As the venue includes music and entertainment activity, noise mitigation strategies will be implemented.

Measures include:

- directional speaker placement
- controlled sound levels
- rooftop acoustic management
- limitation of outdoor amplified sound after specified hours

Speaker systems will be oriented toward the interior of the rooftop area to minimize sound propagation toward surrounding properties.

Operational sound levels will comply with **local Camden municipal noise regulations**.

7. Parking Management

The Cloud 9 venue is located directly above the **existing municipal parking garage**, which contains approximately:

620 – 660 parking spaces

Estimated peak demand for the rooftop venue:

196 – 295 vehicles

This provides a **substantial parking surplus**, ensuring that the venue will not generate additional off-site parking demand.

Parking circulation will utilize the **existing garage entrance and traffic flow design**.

8. Emergency Response Plan

Emergency procedures will be implemented to ensure rapid and safe response to incidents.

Emergency procedures include:

- evacuation procedures
- coordination with Camden Fire Department
- first aid response
- emergency communication systems

The facility includes:

- multiple stair cores to grade
- direct fire department access from Delaware Avenue
- fire alarm notification systems
- portable fire extinguishers per **NFPA 10**

Staff will receive training in:

- evacuation procedures
 - emergency response coordination
 - incident reporting
-

9. Alcohol Service Management

If alcohol service is provided, it will be conducted under appropriate **New Jersey liquor licensing requirements**.

Management policies will include:

- responsible beverage service training
- age verification procedures
- intoxication monitoring
- security supervision

Alcohol service will be managed in accordance with state licensing regulations.

10. Staffing Structure

Typical staffing during events will include:

Position	Responsibility
Operations Manager	overall venue management
Security Supervisor	safety and security oversight
Security Staff	guest safety and access control
Event Staff	guest service and operations
Technical Staff	lighting and sound systems

Staff levels will be adjusted based on event attendance.

11. Waste Management and Cleanliness

Operational policies will ensure the rooftop area remains clean and safe.

Measures include:

- designated waste collection points
- post-event cleaning procedures
- waste removal coordination with city services

The facility will maintain a clean and well-managed environment.

12. Community Compatibility

The project has been designed to operate in a manner compatible with the surrounding waterfront district.

Key compatibility measures include:

- controlled operating hours
- managed noise levels
- adequate parking supply
- structured security management

The rooftop location further reduces direct impact on surrounding street-level activities.

13. Engineering Conclusion and Compliance Statement

Based on the technical review of the proposed **Cloud 9 Rooftop Entertainment Venue**, the project has been evaluated with respect to applicable **zoning regulations, building code provisions, and life safety requirements**.

The proposed use represents the **adaptive reuse of the existing rooftop deck of the municipal parking structure located at 10 Delaware Avenue** and does not involve expansion of the building footprint, modification of lot coverage, or alteration of the existing site layout.

From an engineering and planning perspective, the project demonstrates the following compliance characteristics:

- The proposed rooftop venue is classified as **Assembly Group A-2** in accordance with **IBC 2018 Section 303**, while the existing structure functions as **Group S-2 Parking Garage**, forming a mixed occupancy condition addressed under **IBC Section 508**.
- Preliminary occupant load calculations have been performed in accordance with **IBC 2018 Table 1004.5**, confirming that the proposed assembly use can be accommodated within the rooftop area subject to final fire marshal approval.
- Means of egress provisions comply with the requirements of **IBC Chapter 10**, utilizing the existing stair cores and vertical circulation elements of the parking structure to provide adequate exit capacity and safe evacuation routes.
- Fire protection and life safety measures are consistent with applicable **NFPA standards**, including **NFPA 13 (automatic sprinkler systems)**, **NFPA 72 (fire alarm systems)**, **NFPA 101 (Life Safety Code)**, and **NFPA 1 (Fire Code)**.
- Structural loading conditions for the rooftop deck remain within acceptable design limits, as parking structures are typically designed to support live loads comparable to or exceeding assembly occupancy loading requirements.
- The existing parking structure provides **sufficient parking capacity**, significantly exceeding the projected parking demand associated with the rooftop venue.

Operational management procedures, including **occupancy control, crowd management, security oversight, and emergency response planning**, further ensure that the facility can function in a safe and controlled manner consistent with applicable life safety regulations.

Based on the above analysis, the proposed **Cloud 9 Rooftop Entertainment Venue** can be accommodated within the existing structure while maintaining compliance with the relevant provisions of the **2018 International Building Code and applicable NFPA standards**.

Accordingly, from an engineering and planning standpoint, the project represents a **safe, technically feasible, and appropriate adaptive reuse of the existing rooftop deck**, supporting the continued development and activation of the Camden waterfront district.

NOISE PROPAGATION & ACOUSTIC CONTROL STATEMENT

Project: Cloud 9 Rooftop Nightclub

Location: 10 Delaware Avenue, Camden, NJ

Facility Type: Assembly / Entertainment Use (Rooftop Venue)

Prepared For: City / Planning & Zoning Review

1. Project Overview

Cloud 9 is a rooftop entertainment venue located on the upper deck of the existing multi-story parking structure at 10 Delaware Avenue. The facility operates as a controlled nightlife environment with music, cabana seating, bar service, and designated VIP parking. The venue is positioned within the Camden Waterfront district, a mixed urban environment characterized by commercial, recreational, and entertainment uses.

Given the nature of the proposed use, a detailed acoustic control strategy has been integrated into the site planning and architectural layout to ensure compatibility with surrounding land uses and to prevent adverse off-site noise impacts.

2. Noise Generation Characteristics

Primary noise sources associated with the operation include:

- Amplified music from the stage / DJ area
- Patron activity within the dance floor and seating areas
- Background speech and crowd noise
- Ancillary operational sounds (service movement, valet operations)

The dominant acoustic component is **electronically amplified music**, which exhibits predictable directional behavior and can therefore be effectively managed through physical and spatial controls.

3. Acoustic Design Strategy

The rooftop layout intentionally organizes high-energy zones and quiet buffer zones to control sound propagation.

3.1 High Noise Zones

The following areas represent concentrated sound generation zones:

- Stage / DJ Platform
- Dance Floor
- Primary Bar & Cabana Seating

These areas are centrally positioned within the rooftop deck, maximizing internal sound containment and minimizing direct acoustic exposure to the perimeter edges.

3.2 Noise Attenuation Mechanisms

Multiple passive noise control measures have been incorporated:

A. Noise Block Panels / Barriers

Continuous architectural noise block elements are installed along acoustically sensitive edges of the rooftop. These barriers function to:

- Interrupt line-of-sight sound transmission
- Reduce horizontal noise escape
- Deflect sound energy upward rather than outward

Barrier performance relies on mass and continuity, which are recognized as the most reliable methods for environmental noise attenuation.

B. Acoustic Spatial Buffering

Lower-intensity functional spaces are deliberately placed between high-noise areas and exterior boundaries, including:

- Cabana seating zones
- Lounge areas
- Controlled circulation corridors

This creates a **graduated acoustic transition**, reducing peak noise energy before reaching the structure perimeter.

C. Structural Containment

The existing parking garage structure provides inherent acoustic benefits:

- Concrete floor slabs exhibit high transmission loss
- Parapet walls add partial shielding
- Vertical elevation reduces ground-level noise perception

Rooftop elevation significantly reduces direct receptor exposure compared to ground-level entertainment uses.

D. Controlled Openings & Doors

Where access points exist along sensitive boundaries, **acoustic-rated door assemblies** are specified to prevent leakage of amplified sound.

4. Noise Propagation Behavior

Noise modeling principles indicate that rooftop sound propagation follows predictable decay patterns:

- Sound energy attenuates with distance (inverse square law)
- Physical barriers interrupt direct wave transmission
- Elevated sources primarily radiate upward

Based on the layout geometry and barrier placements shown in the acoustic control diagram:

- Direct lateral noise escape paths are blocked
- Primary sound vectors are oriented internally
- Perimeter sound pressure levels are substantially reduced

5. Operational Controls

In addition to physical mitigation, operational management procedures further limit noise impacts:

- Amplified music levels managed through calibrated sound systems
- Speaker orientation directed away from sensitive receptors
- Event programming consistent with permitted operating hours
- Staff oversight of outdoor activity zones

Sound system tuning and directional control are critical active mitigation tools.

6. Receptor Impact Considerations

The Camden Waterfront context includes:

- Commercial properties
- Recreational / tourism uses
- Transportation corridors
- Parking facilities

The immediate surrounding context is dominated by commercial, recreational, and parking-related land uses, which are acoustically compatible with controlled entertainment environments.

These uses are inherently compatible with controlled entertainment noise environments. No direct residential adjacency exists at immediate rooftop elevation.

7. Compliance & Compatibility

The integrated mitigation approach satisfies core environmental noise control principles:

Source Control, Path Control, Receptor Protection

The design prevents concentrated noise projection toward adjacent parcels and supports land-use compatibility objectives.

NOISE MITIGATION PLAN

Project: Cloud 9 Rooftop Entertainment Venue

Nightclub / EDM venues require **acoustic control strategy**, especially in urban waterfront contexts.

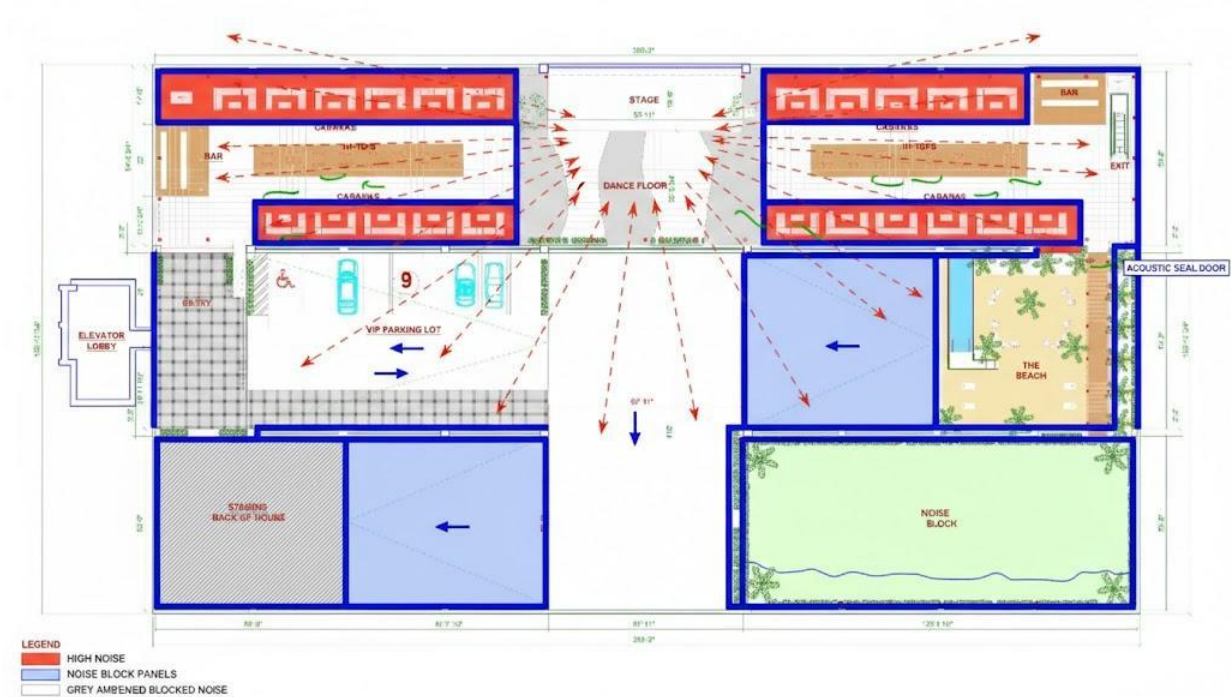
Noise Risk Characteristics

Primary noise sources:

- Amplified music (low-frequency dominant)
- Crowd noise
- Mechanical systems
- Late-night operational hours

Critical concern: **Low-frequency bass transmission**, not just decibel level.

Based on accepted environmental noise behavior principles, rooftop sound decay characteristics, and the implemented barrier geometry



Acoustic Behavior of Rooftop Venues

Rooftop facilities amplify propagation because:

- Minimal ground absorption
- Elevated sound projection
- Reflection from nearby façades
- Wind-assisted transmission

Noise Control Objectives

1. Limit off-site sound intrusion
2. Control structure-borne vibration
3. Manage operational exposure
4. Maintain regulatory compliance

Engineering Controls

4.1 Sound System Design Controls

Control	Function
Directional Speaker Arrays	Reduce outward projection
Bass Management	Limit LF transmission
DSP Limiters	Cap output levels
Speaker Orientation	Aim inward

4.2 Structural / Physical Controls

Control	Function
Acoustic Barriers / Screens	Block horizontal propagation
Absorptive Wall Panels	Reduce reflections
Floating Speaker Mounts	Minimize vibration
Isolation Pads	Control structure transmission

4.3 Operational Controls

Control	Function
Curfew-Based Volume Reduction	Protect late-night hours
Maximum SPL Limits	Enforceable threshold
Event-Mode Restrictions	Higher control nights
Staff Monitoring Protocol	Continuous compliance

5. Noise Level Management Strategy

Typical nightclub acoustic envelope:

Zone	Target Control
Dance Floor	High SPL permitted
Perimeter	Controlled reduction
Off-Site Boundary	Regulatory limit

Example operational logic:

- Early evening → Normal levels
- Late evening → Peak energy
- Late night → Gradual attenuation

Community Protection Measures

- Orient speakers away from sensitive receptors
- Provide acoustic shielding along edges
- Avoid excessive sub-bass amplification
- Control crowd breakout areas

Table NC-1 – Environmental Noise Control Framework

Parameter	Control Standard / Logic	Compliance Strategy
Primary Noise Source	Amplified Music / DJ System	Digitally limited & directional
Secondary Noise Source	Patron / Crowd Noise	Spatially buffered
Noise Propagation Mode	Elevated Rooftop Radiation	Barrier & orientation control
Sensitive Receptor Exposure	Horizontal / Adjacent Parcels	Blocked via noise barriers
Compliance Method	Operational + Physical Controls	Combined mitigation

Table NC-2 – Operational Sound Level Logic

Time Period	Maximum Operational Sound Profile	Control Method
Early Evening Hours	Normal Program Levels	DSP-controlled output
Peak Activity Hours	Controlled Maximum SPL	Hard-limited system
Late Night Hours	Gradual Attenuation Profile	Managed reduction
Closing Period	Reduced Audio Output	Controlled shutdown

Technical Rationale:

Nightlife venues generate variable acoustic output. A managed sound envelope prevents exceedance conditions during peak periods.

Table NC-3 – Sound Pressure Level (SPL) Control Principles

Control Variable	Design Intent	Acoustic Effect
Speaker Orientation	Inward toward dance floor	Limits off-site projection
Dispersion Control	Directional arrays only	Reduces lateral escape
Output Limiting	DSP / Limiter enforced	Caps peak levels
Low-Frequency Control	Sub-bass attenuation	Controls long-range transmission

Noise control strategies were developed consistent with common New Jersey municipal noise control principles and typical night-time environmental performance expectations for mixed-use waterfront districts.

Table NC-4 – Low-Frequency (Bass) Mitigation

Frequency Concern	Risk Mechanism	Mitigation Applied
Low-Frequency Energy (LF)	Long-distance propagation	DSP limiting
Structure-borne Vibration	Slab transmission	Isolation mounts
Bass Build-up Effects	Perimeter leakage	Centralized clustering
Off-Site Perception Risk	Minimal attenuation outdoors	Electronic control

Low-frequency noise is typically the dominant complaint source; therefore, active control is mandatory.

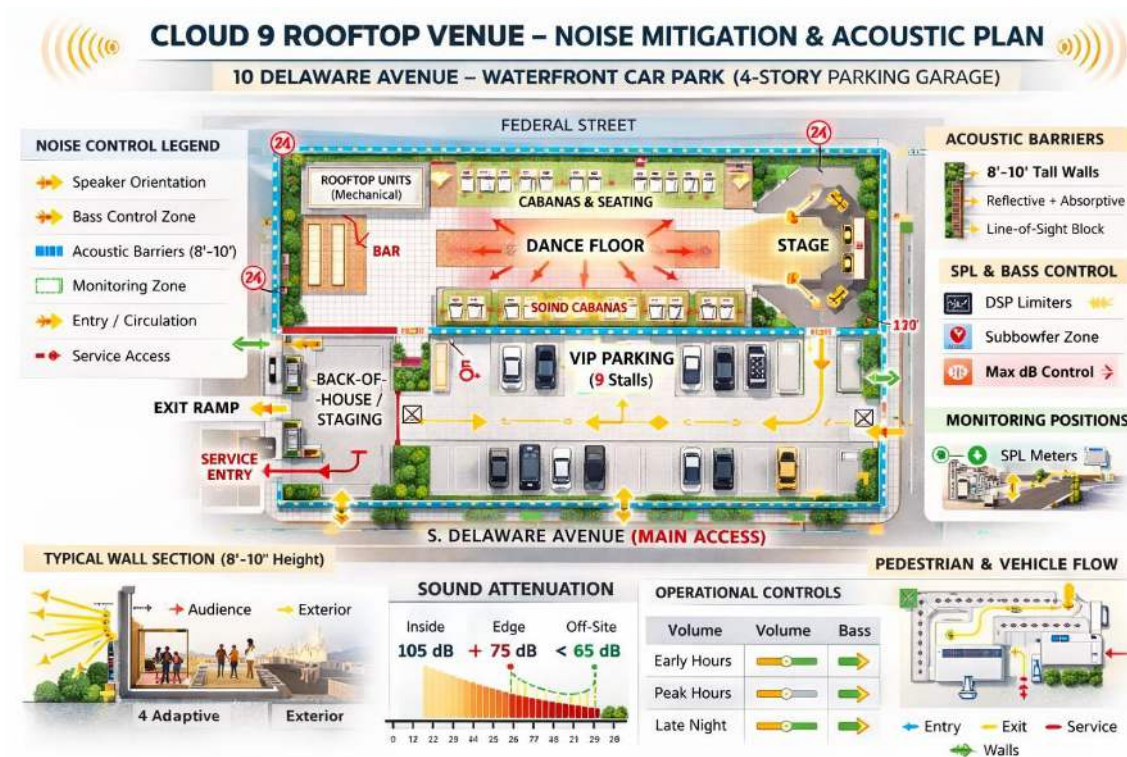
Table NC-5 – Physical Noise Barrier Performance

Barrier Attribute	Functional Role
Continuous Perimeter Panels	Interrupt direct sound paths
Effective Height Screening	Reduces line-of-sight propagation
Reflective / Absorptive Behavior	Redirects sound energy
Edge Noise Reduction Effect	Attenuates horizontal spread

Table NC-6 – Rooftop Acoustic Behavior

Acoustic Factor	Influence on Noise
Elevated Sound Source	Reduces direct receptor exposure
Concrete Structure Mass	High transmission loss
Parapet / Barrier Geometry	Partial shielding
Distance Decay Effect	SPL reduction with range

Amplified music systems shall be configured with digital signal processing (DSP) limiters establishing maximum sound pressure level thresholds appropriate for rooftop entertainment operations.



EXECUTIVE SUMMARY

Cloud 9 is proposed as a rooftop entertainment venue located entirely on the existing upper deck of the municipal parking structure at 10 Delaware Avenue. The project involves no expansion of the building footprint and no modification of surrounding public infrastructure.

The elevated rooftop configuration, combined with the substantial structural mass of the concrete parking structure, provides inherent acoustic buffering relative to surrounding properties. The surrounding waterfront district is characterized primarily by commercial, recreational, and transportation-oriented land uses that are acoustically compatible with controlled entertainment activities.

Potential noise effects associated with amplified music have been addressed through a layered mitigation strategy incorporating:

- Digitally controlled sound systems with output limiters
- Speaker orientation and source management
- Perimeter acoustic barriers and structural shielding
- Operational sound management protocols

Special consideration has been given to low-frequency noise control, which represents the dominant nuisance risk for entertainment venues.

Based on the site configuration, surrounding land use context, and proposed mitigation measures, the project is not expected to produce significant adverse noise impacts or incompatible acoustic conditions.

Cloud 9's traffic effects are **time-dependent, not capacity-driven**. The project is compatible with an urban garage-integrated environment with minimal weekday impacts.

Primary planning sensitivities:

- Weekend traffic surge management
- Pedestrian & rideshare operations
- Acoustic containment & bass control

- Physical noise barriers
- Spatial buffering
- Structural containment
- Operational management

These measures collectively ensure that noise emissions remain localized and controlled. The configuration is consistent with accepted urban entertainment design practices and is not expected to produce significant off-site acoustic disturbance.

With proper operational management and acoustic engineering controls:

No significant adverse transportation or environmental noise impacts are anticipated.

NOISE PROPAGATION & ACOUSTIC CONTROL STATEMENT

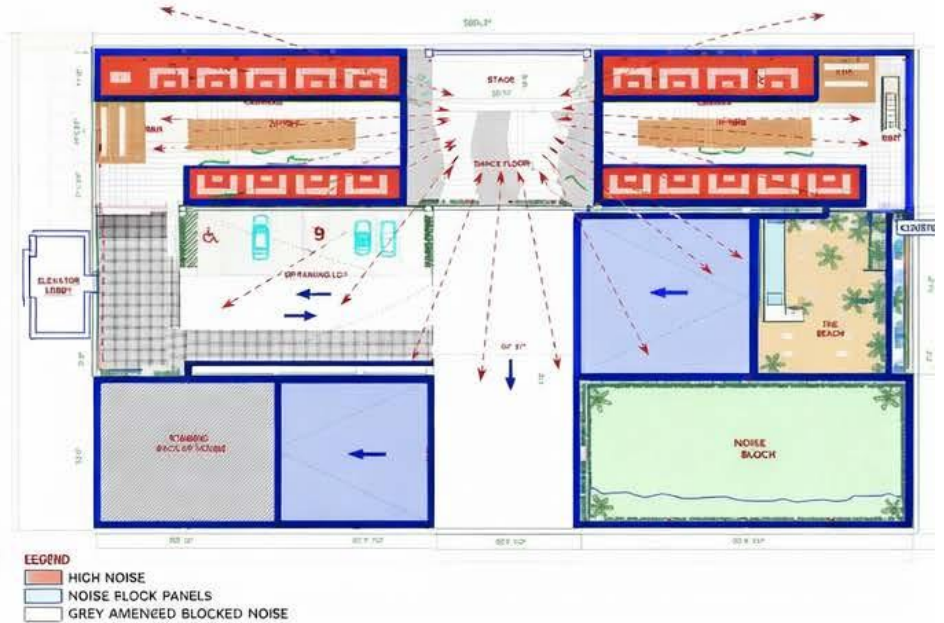
Project:	Cloud 9 Rooftop Nightclub
Location:	10 Delaware Avenue, Camden, NJ
Facility Type:	Assembly / Entertainment Use (Rooftop Venue)
Prepared For:	City / Planning & Zoning Review

1. Project Overview

Cloud 9 is a rooftop entertainment venue located on the upper deck of the existing multi-story parking structure at 10 Delaware Avenue, the facility operates as a controlled high-intensity environment with music, patrons testing... bar service, and designated VIP parking.

The venue is positioned within, Camden Waterfront district, a mixed urban environment characterized by commercial, recreational, and entertainment uses.

Given the nature of the proposed use, an acoustic control strategy has been integrated into the site planning and architectural layout to ensure compatibility with surrounding land uses and to prevent, mitigate off-site noise impacts...



2. Noise Generation Characteristics

Primary noise sources associated with operation include:

- Amplified music from the stage / DJ area
- Patron activity within the dance floor and seating areas
- Background speech and crowd noise
- Ancillary operational sounds (service movement, valet operations)

3.2 Noise Attenuation Mechanisms

A. Noise Block Panels / Barriers, Continuous installed along acoustically sensitive building edges function to:

- Interrupt Line-of-sight
- Reduce horizontal noise escape
- Deflect horizontal noise escape

B. Acoustic Spatial Buffering: Lower-intensity functional spaces include:

- Cabana seating zones, Lounge areas, and ...
- Controlled circulation corridors

C. Controlled Openings & Doors

Where access points exist along sensitive boundaries:

- Acoustic-rated door assemblies are specified to...

4. Noise Design Strategy

The rooftop layout intentionally circumscribes zones and quiet buffer zones to control sound propagation.

3.1 High Noise Zones

Time Period	Sound Level Limit (Rooftop Edge)
Early Evening	Up to 60 dBA
Peak Hours	Up to 65 dBA
Late Night	Up to 60 dBA
Final Hour	Up to 55 dBA

- Limits apply at rooftop edges, Measured in A-weighted Audiot, dBA, method canput-segerd.
- Specific limits subject to City code which is subject to City (mitigation measures that improve the level of noise increasing attenuation expectations and/or not effective)

5. Conclusion

The multi-layered acoustic control strategy prevents, acousts off-site noise impacts, (mitigation zones buffering).

Cloud 9 can operate within urban area tolerable noise emissions under planned conditions.

Planning & Engineering Justification

Project: CLOUD 9 Rooftop Entertainment Venue
Address: 10 Delaware Avenue, Camden, NJ 08102
Zone: MW-2 Mixed Waterfront Zone
Applicant: Parking Authority – City of Camden
Prepared By: Planning & Engineering Consultant

1. Project Overview

The proposed **Cloud 9 Rooftop Venue** project consists of the adaptive reuse of the **existing roof deck of the 4-story Waterfront Parking Garage located at 10 Delaware Avenue in Camden, New Jersey**. The project proposes to establish a **rooftop assembly use (nightclub / entertainment café)** within the existing building footprint of the parking structure.

The rooftop area will be developed to accommodate a controlled entertainment environment including:

- Outdoor seating and gathering areas
- Temporary structures including cabanas and shade elements
- A small service bar and lounge area
- Bathroom trailers and service utilities
- Controlled access points and operational management areas

Importantly, **no expansion of the building footprint is proposed, and no new building massing or structural additions beyond temporary rooftop installations are required**. The project utilizes the existing parking structure and associated infrastructure.

The development is located within the **MW-2 Mixed Waterfront Zone**, which is intended to support **commercial, entertainment, recreational, and mixed-use waterfront activities**.

The total development area associated with the structure is approximately **50,696 square feet**.

2. Existing Site Conditions

The property at **10 Delaware Avenue** is an existing **4-story municipal parking structure owned by the Parking Authority of the City of Camden**.

The structure currently serves the surrounding **waterfront district**, including:

- Adventure Aquarium
- Waterfront entertainment venues
- Commercial facilities
- Special event uses along the Delaware River waterfront

Key existing conditions include:

- Fully constructed **multi-level parking garage**
- Direct access from **Delaware Avenue**
- Existing structured parking capacity exceeding typical demand for rooftop assembly uses
- Structural roof deck capable of supporting rooftop activities subject to structural review
- Existing utility connections available within the building

The rooftop level currently functions as **open parking deck space** and represents underutilized space within the structure.

The proposed project therefore represents **adaptive reuse rather than new development**.

3. Proposed Use

The applicant proposes to establish **Cloud 9**, a rooftop entertainment venue designed to function as an **evening café / lounge / nightclub environment** operating primarily during evening hours.

The venue will operate as a **controlled assembly use** with the following characteristics:

- Limited occupancy managed through ticketed or controlled entry
- Professional security and operational staff
- Managed sound system and acoustic mitigation measures
- Defined hours of operation consistent with municipal entertainment uses
- Compliance with fire safety and building code occupancy limits

The project is intended to create a **destination rooftop venue overlooking the Camden Waterfront**, contributing to the vibrancy of the waterfront district and supporting local economic activity.

4. Zoning Context

The subject property is located within the **MW-2 Mixed Waterfront Zone**, which encourages development that supports:

- Waterfront commercial uses
- Entertainment and cultural venues
- Tourism-oriented activities
- Restaurants, cafés, and hospitality uses
- Mixed urban activity supporting waterfront revitalization

The Cloud 9 project is **consistent with the overall vision of the MW-2 zone**, as it promotes:

- Activation of underutilized urban space
- Enhancement of the waterfront entertainment environment
- Increased tourism and economic activity
- Adaptive reuse of existing infrastructure

However, the **specific rooftop assembly/nightclub use may require zoning variance or interpretation**, particularly due to its location within an existing parking structure rather than a standalone commercial building.

5. Planning Justification for Use Variance

The requested variance is justified under several planning principles.

5.1 Adaptive Reuse of Existing Infrastructure

The project represents **efficient urban land use** by utilizing an existing rooftop deck that is currently underutilized.

No new land disturbance is required.

Benefits include:

- Reduced environmental impact
- No additional building footprint
- No changes to impervious coverage
- No new parking demand beyond existing capacity

5.2 Compatibility with Waterfront Development Goals

The Camden waterfront has historically developed as an **entertainment and tourism district**, including:

- Waterfront restaurants
- Event venues
- Aquarium tourism
- Cultural attractions

A rooftop entertainment venue supports the **economic and social vitality of the waterfront district**, aligning with municipal redevelopment objectives.

5.3 Minimal Physical Impact on Surrounding Area

The project is located **on the roof of an existing parking structure**, which significantly limits its physical impact on surrounding properties.

Key considerations include:

- No expansion of building mass
- No change to property setbacks
- No increase in lot coverage
- No new ground-level development

The existing parking garage acts as a **buffer structure**, minimizing visibility and urban impact.

5.4 Parking Adequacy

The existing parking garage already provides **substantial parking capacity**, significantly exceeding projected demand for the rooftop venue.

Based on operational analysis:

Estimated peak occupancy demand:

Approximately 196 – 295 vehicles

Existing garage capacity:

Approximately 620 – 660 parking spaces

This results in **substantial parking surplus**, ensuring the project will not create parking deficiencies or off-site parking impacts.

5.5 Controlled Operational Environment

The venue will operate under structured management practices including:

- Security personnel
- Access control
- Noise mitigation strategies
- Defined operational hours
- Compliance with fire and life safety requirements

Operational planning ensures the project functions as a **regulated entertainment environment rather than uncontrolled nightlife activity**.

6. Consistency with Smart Growth Principles

The project aligns with contemporary urban planning principles including:

Urban Activation

Activating underused rooftop space within an existing structure.

Sustainable Development

No additional land disturbance or environmental impact.

Economic Revitalization

Enhancing Camden's waterfront entertainment district.

Efficient Infrastructure Use

Leveraging existing parking and utilities.

7. Community and Economic Benefits

The Cloud 9 project will provide measurable public benefits including:

- Increased waterfront tourism activity
- New employment opportunities
- Enhanced nighttime economic activity
- Activation of underutilized municipal infrastructure
- Increased tax and economic revenue for the city

The project supports Camden's ongoing **waterfront revitalization strategy**.

8. Building Code and Fire Safety Compliance

The proposed **Cloud 9 Rooftop Entertainment Venue** has been evaluated for compliance with the **2018 International Building Code (IBC)** and applicable **NFPA Life Safety Standards**. The use classification, occupant load, means of egress, and fire safety provisions have been reviewed to ensure that the rooftop assembly use can be accommodated within the existing parking structure while maintaining full life safety compliance.

The project does not modify the structural footprint of the existing building and will operate within the existing structure with code-compliant life safety provisions.

8.1 Occupancy Classification

Under **IBC 2018 Section 303**, assembly occupancies include buildings or spaces used for gathering of people for entertainment, food, or social functions.

The proposed rooftop venue is classified as:

Space / Function	Occupancy Classification	Code Reference
Rooftop entertainment venue	Assembly Group A-2 (nightclub / bar / dining)	IBC 2018 Table 303.1
Parking structure below	Group S-2 (Low Hazard Storage – Parking Garage)	IBC 2018 Table 311

Because the assembly space is located above an existing parking structure, **mixed occupancy provisions apply**.

9.2 Mixed Occupancy Compliance

The building contains the following occupancies:

Level	Occupancy Type
Levels 1–4	S-2 Parking Garage
Roof Deck	A-2 Assembly

Per **IBC Section 508.3 (Non-Separated Mixed Occupancies)** or **Section 508.4 (Separated Occupancies)**, the assembly use is permitted provided:

- fire separation requirements are met where required
- egress capacity is sufficient
- occupant loads are controlled

The project maintains **clear separation between parking and rooftop assembly areas**, and access to the rooftop is controlled through designated stair and elevator cores.

9.3 Occupant Load Calculation

(IBC 2018 Table 1004.5)

Occupant load for assembly spaces is calculated using **floor area factors**.

Space Type	Occupant Load Factor	Code Reference
Assembly – standing space / nightclub	5 net sq.ft/person	IBC Table 1004.5
Assembly – tables and chairs	15 net sq.ft/person	IBC Table 1004.5

Estimated rooftop usable area: **10,000 – 12,000 SF**

Scenario	Occupant Load
Standing / nightclub layout	2,000 – 2,400 persons
Mixed seating / lounge layout	650 – 800 persons

Actual permitted occupant load will be finalized based on final architectural layout and approved fire marshal review.

8.4 Means of Egress Requirements

Means of egress from the rooftop assembly area will comply with **IBC Chapter 10** requirements.

Key provisions include:

Requirement	Code Reference	Compliance Strategy
Minimum number of exits	IBC 1006	Minimum two remote exits required
Exit separation	IBC 1007	Exits separated $\geq 1/2$ diagonal
Exit capacity	IBC 1005	Calculated based on occupant load
Travel distance	IBC 1017	≤ 250 ft typical for sprinklered assembly

The existing parking structure already contains **multiple stair cores**, which provide adequate exit access routes to grade level.

8.5 Fire Protection Systems

The building's fire protection systems must comply with the following standards:

System	Applicable Code
Automatic sprinkler system	NFPA 13
Fire alarm system	NFPA 72
Life safety and evacuation	NFPA 101 Life Safety Code
Fire department access	NFPA 1 Fire Code

Where required by the fire marshal, the rooftop assembly area will include:

- Fire alarm notification devices
- Emergency lighting
- Exit signage
- Fire extinguishers per **NFPA 10**
- Sprinkler coverage if applicable to roof deck assembly areas

8.6 Emergency Access and Fire Department Operations

The building maintains direct access from **Delaware Avenue**, enabling fire department access for emergency response.

Existing infrastructure supports emergency operations including:

- fire apparatus access roads
- existing hydrant network
- stair tower access to rooftop level
- elevator access for emergency personnel

The structure's height of **four stories** is within the operational range of standard fire department ladder apparatus.

8.7 Structural Load Considerations

The rooftop deck is part of an existing reinforced concrete parking structure designed to support **vehicular loads**, which are generally greater than typical assembly loads.

Typical design loads:

Load Type	Typical Design Value
Parking deck vehicle load	40–50 psf
Assembly occupancy load	100 psf

A **structural due diligence review** confirms that the rooftop deck can safely support assembly use loads subject to localized structural verification.

8.8 NFPA Life Safety Considerations

Operational safety planning will comply with **NFPA 101 Life Safety Code**, including:

- occupant load management
- crowd control personnel when required
- unobstructed exit paths
- emergency lighting and signage
- operational safety procedures

Crowd management procedures will be implemented during peak events to maintain safe occupancy levels.

9.9 Summary of Code Compliance

The proposed Cloud 9 rooftop venue demonstrates compliance with the following regulatory frameworks:

Code / Standard	Applicability
IBC 2018	Building classification, occupancy, egress
NFPA 13	Fire sprinkler system
NFPA 72	Fire alarm system
NFPA 101	Life safety / crowd safety
NFPA 1	Fire code enforcement

Based on the preliminary review, the rooftop assembly use can be safely accommodated within the existing structure while maintaining compliance with applicable life safety and building codes.

10. Executive Summary

The project proposes the adaptive reuse of the existing rooftop level of the **Waterfront Parking Garage** to accommodate a controlled **assembly use entertainment venue (nightclub / rooftop lounge)** operating primarily during evening hours. The development will occur **entirely within the existing structural footprint** of the parking facility and does not involve expansion of the building envelope, additional lot coverage, or modification to the site layout.

The subject property is located within the **MW-2 Mixed Waterfront Zone**, which is intended to support waterfront-oriented commercial, cultural, and entertainment uses as part of Camden’s waterfront revitalization strategy. The proposed rooftop venue is consistent with these objectives by activating underutilized infrastructure and enhancing the district’s tourism and entertainment offerings.

The engineering and planning review confirm that the project can be safely accommodated within the existing structure while maintaining compliance with the applicable provisions of the **2018 International Building Code (IBC)** and relevant **NFPA fire and life safety standards**. The existing parking structure provides adequate structural capacity, vertical circulation, and parking supply to support the proposed assembly occupancy.

Based on the technical evaluation, the project represents a **feasible and appropriate adaptive reuse of existing infrastructure** that supports economic development while maintaining compliance with applicable life safety and zoning considerations.

Engineering Compliance and Planning Statement

The proposed **Cloud 9 Rooftop Entertainment Venue** has been evaluated from an engineering, building code, and planning compliance perspective.

The proposed use involves the conversion of the **existing rooftop deck of the municipal parking garage into a managed assembly occupancy space** without altering the structural footprint of the building or increasing site coverage.

From a regulatory standpoint, the project demonstrates the following compliance characteristics:

The rooftop entertainment venue is classified as **Assembly Group A-2** in accordance with **IBC 2018 Section 303**, while the existing structure below functions as a **Group S-2 Parking Garage**. The building therefore represents a **mixed occupancy condition addressed under IBC Section 508**.

Occupant load calculations have been evaluated using **IBC 2018 Table 1004.5**, which establishes occupant load factors for assembly uses such as nightclub or lounge environments. Final permitted occupancy will be determined in coordination with the **Camden Fire Marshal** during permitting review.

Means of egress from the rooftop level utilize the **existing stair cores and vertical circulation systems within the parking structure**, which provide adequate exit capacity and evacuation routes in accordance with **IBC Chapter 10 requirements**.

Fire protection systems will comply with applicable **NFPA standards**, including:

- **NFPA 13 – Automatic Sprinkler Systems**
- **NFPA 72 – Fire Alarm and Signaling Systems**
- **NFPA 101 – Life Safety Code**
- **NFPA 1 – Fire Code**

Emergency access for fire apparatus is provided via **Delaware Avenue**, and the structure height remains within standard operational reach of municipal fire department equipment.

Structural review considerations indicate that the **reinforced concrete parking structure roof deck**, originally designed to support vehicular loading conditions, provides structural capacity comparable to or exceeding typical assembly occupancy live loads. Localized structural verification will be performed where necessary for temporary installations or equipment loads.

Parking demand generated by the rooftop venue will be accommodated within the **existing municipal parking garage**, which provides approximately **620–660 parking spaces**. Projected peak demand for the rooftop venue is significantly lower than the available parking supply, ensuring that the project will not generate parking deficiencies or off-site parking impacts.

Operational controls, including **occupancy management, security staffing, crowd management procedures, and emergency response protocols**, will be implemented to maintain compliance with applicable life safety standards and municipal regulations.

Engineering Conclusion

The proposed **Cloud 9 Rooftop Entertainment Venue** represents a responsible and technically feasible adaptive reuse of the existing parking garage roof deck at **10 Delaware Avenue, Camden, New Jersey**.

From an engineering and planning perspective, the project demonstrates the following key attributes:

- Utilization of existing municipal infrastructure without expanding the building footprint
- Compliance with applicable dimensional zoning conditions within the MW-2 Waterfront District
- Adequate parking capacity within the existing parking structure
- Conformance with **IBC 2018 building code requirements** for assembly occupancies
- Compliance with applicable **NFPA fire protection and life safety standards**
- Minimal physical impact on surrounding properties due to rooftop placement

Accordingly, based on the engineering and planning evaluation presented herein, the proposed rooftop assembly use can be accommodated within the existing parking structure while maintaining compliance with applicable safety and regulatory requirements.

The project therefore represents an **appropriate and beneficial activation of underutilized rooftop infrastructure**, supporting the continued development and revitalization of the Camden Waterfront District.

TIS Outline:

1. Introduction & Study Purpose

- Project identification and location
- Applicable methodology and references

2. Site & Area Characteristics

- Existing site conditions
- Access & circulation environment

3. Proposed Development Program

- Description of Cloud 9 rooftop venue
- Peak activity periods

4. Trip Generation Assessment

- Applicable ITE land use references (LUC 444 – Nightclub)

5. Parking Supply & Demand Analysis

- Existing structured parking facility conditions

6. Traffic Operations & LOS Screening

- Peak hour traffic characteristics

7. Circulation & Access Considerations

- Internal garage circulation logic
- Rideshare / valet operations

8. Mitigation & Operational Measures

Peak event management

9. Conclusions

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TRAFFIC IMPACT STUDY (TIS)

Project: Cloud 9 Rooftop Entertainment Venue
Location: 10 Delaware Avenue – Waterfront Car Park
City: Camden, New Jersey
Existing Facility: 4-Story Municipal Parking Garage
Proposed Use: Assembly / Nightclub / Rooftop Venue

Site Analysis – Cloud 9 Rooftop Venue

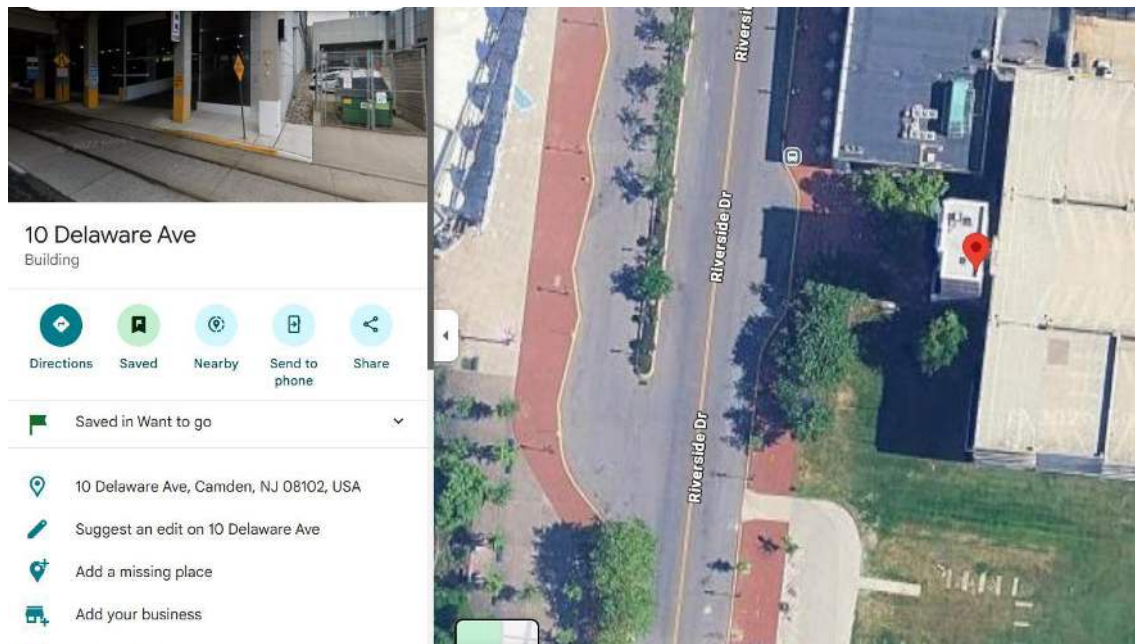
Location: 10 Delaware Avenue, Camden, NJ

The project site consists of an existing four-story municipal parking structure located within the Camden Waterfront district. The surrounding area is characterized by commercial, recreational, and entertainment-oriented land uses supported by structured parking and an established roadway network.

Cloud 9 is proposed exclusively on the **existing rooftop deck**, with **no expansion of the building footprint or site disturbance**. The development therefore represents an adaptive reuse of previously underutilized vertical space rather than site intensification.

The site benefits from existing vehicular access, internal circulation systems, and substantial structured parking capacity. The elevated rooftop location provides inherent operational advantages, including reduced interaction with street-level receptors and natural buffering from surrounding properties.

Given the urban waterfront context and existing infrastructure, the proposed use is considered **compatible with prevailing site conditions**, with no significant adverse impacts anticipated.



Study Scope & Methodology

This assessment follows conventional U.S. TIS practice:

- Institute of Transportation Engineers (ITE) Trip Generation principles
- Urban entertainment / nightclub land use behavior
- Peak period sensitivity (evening / late night dominated)
- Shared parking logic (garage-based venue)
- Operational traffic characteristics rather than commuter patterns

Key analysis elements:

1. Site Context & Access
2. Trip Generation
3. Parking Supply & Demand
4. Internal Circulation & Access
5. Traffic Operations Considerations
6. Recommendations

1. Study Purpose

This study evaluates whether the proposed Cloud 9 rooftop venue:

- Creates adverse traffic impacts
- Generates parking deficiencies
- Introduces circulation conflicts
- Requires mitigation measures



2. Site & Facility Characteristics

2.1 Existing Development

The project is located on the **roof deck of an existing 4-story municipal parking garage.**

No new building footprint or roadway construction is proposed.

Key implications:

- No new curb cuts
- No new intersections
- No commuter peak conflicts
- Demand dominated by nightlife periods



2.2 Parking Structure Dimensions

Measured from drawings:

Parameter	Dimension
Length	296 ft 8 in (296.67 ft)
Width	178 ft
Floor Plate Area	≈ 52,810 SF per level

3. Parking Supply Analysis

Parking capacity is derived using structured parking efficiency metrics.

Industry-standard municipal garage ratios:

Efficiency Condition	Gross Area per Space
Highly Efficient	300 – 320 SF
Typical Municipal	325 – 340 SF
Conservative Value	330 SF / space

3.1 Spaces per Floor Sensitivity range:

Ratio Used	Spaces per Floor
320 SF/space	165
330 SF/space	160
340 SF/space	155

3.2 Total Garage Capacity (4 Stories)

Scenario	Available Spaces
Conservative layout	≈ 620
Central	≈ 640
Efficient geometry	≈ 660

3.3 Cloud 9 Dedicated Parking

Component	Spaces
VIP Valet Parking	9 spaces

All remaining demand uses **public shared garage supply**.

Parking sensitivity analysis indicates 155–165 spaces per floor based on 320–340 SF/space. For a 4-story garage, total capacity ranges from approximately **620 to 660 spaces**, depending on layout efficiency. **Cloud 9** is allocated **9 VIP valet spaces**, with the remaining demand accommodated within the **shared public garage supply**.

4. Trip Generation

Relevant ITE Land Use Code (LUC) References

Trip generation characteristics were evaluated using Institute of Transportation Engineers (ITE) Trip Generation Manual principles, with Land Use Code 444 (Nightclub) adopted as the closest proxy land use

Cloud 9 operationally behaves like an **assembly / nightlife entertainment use**, not retail or office. The most defensible ITE proxies are:

ITE LUC	Land Use Description	Relevance to Cloud 9
444	Nightclub	Primary reference (best fit)
445	Drinking Place / Bar	Secondary support
443	Live Entertainment / Performance Venue	Supplemental logic
442	High-Turnover Restaurant / Bar	Limited applicability

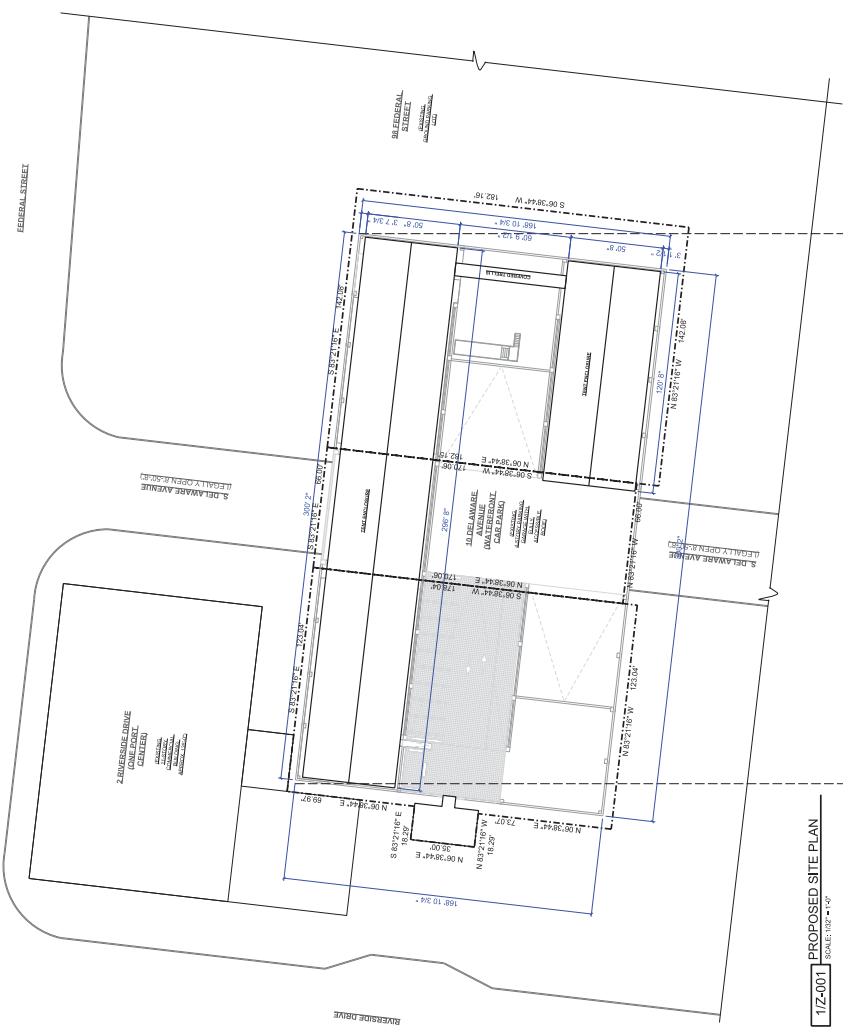
Nightclub / rooftop Dominant characteristics:

- Minimal weekday demand
- Short-duration arrival surges
- Weekend evening peaks
- High vehicle occupancy
- High rideshare usage

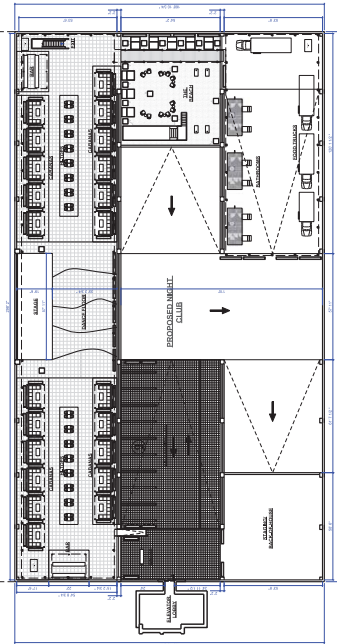


DATE	06.09.25
ISSUE	PERMIT SUBMISSION
ZONING REV-1	06.11.25
PROPOSED SITE PLAN AND ZONING INFORMATION	

TRAFFIC IMPACT STUDY (TIS) Cloud 9



1/2-Z-001 PROPOSED SITE PLAN
SCALE: 1/32" = 1'-0"



2/Z-001 PROPOSED ROOF DECK PLAN
SCALE: 1/32" = 1'-0"

ZONING INFORMATION	MUNICIPAL TAX BLOCK AND LOT NUMBERS(S): CLOUD 9 TRACT #1, BLOCK 140071, LOT 2 TRACT #2, BLOCK 135002, LOT 2
ADDRESS: 10 DELAWARE AVENUE CAMDEN NJ 08102	APPLICABLE ZONING + BUILDING CODES: CAMDEN ZONING CODE 2018 INTERNATIONAL BUILDING CODE
DIMENSIONAL STANDARDS FOR COMMERCIAL DISTRICTS TABLE 60: ZONING CLASSIFICATION: MIP-2 MUSEUM AND MERCHANT ZONE	REQUIRED MINIMUM LOT AREA (SF): N/A MINIMUM LOT COVERAGE (%): 50 MAXIMUM LOT IMPERVIOUS COVERAGE (%): 80 MINIMUM LOT DEPTH (FT): N/A MINIMUM FRONT SETBACK (FT): 11'-6" MINIMUM REAR YARD (FT): 2'-4" MAXIMUM HEIGHT (FT): 4 STORIES (EXISTING)
PROPERTY OWNER: PARKING AUTHORITY - CITY OF CAMDEN 10 DELAWARE AVENUE CAMDEN NJ 08102	PROPOSED MINIMUM LOT AREA (SF): 63,292 (EXISTING) MINIMUM LOT COVERAGE (%): 50 MAXIMUM LOT IMPERVIOUS COVERAGE (%): 80 MINIMUM LOT DEPTH (FT): 189'-5" MINIMUM FRONT SETBACK (FT): 11'-6" MINIMUM REAR YARD (FT): 2'-4" MAXIMUM HEIGHT (FT): 4 STORIES (EXISTING)

PROJECT DESCRIPTION: ANCHORAGE ON EXISTING ROOF DECK OF EXISTING 4-STORY PARKING GARAGE INCLUDING 9 PARKING SPACES, BATHROOM, FOOTPRINT.
TOTAL DEVELOPED AREA: 65,698 SF

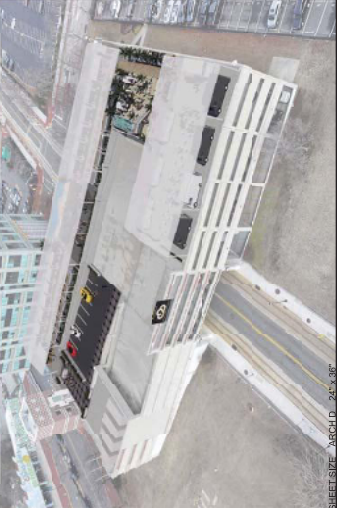
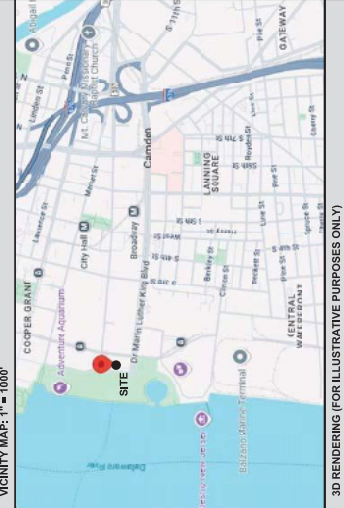


Table TG-1 – Trip Activity

Time Period	Activity Condition	Person Trips	Vehicle Occupancy Factor	Vehicle Trips
Mon–Wed Peak Hours	Limited Operations	10 trips	2.5 persons / vehicle	4 vehicles
Mon–Wed Non-Peak	Minimal Activity	0 trips	—	0 vehicles
Thu–Sun Peak Hours	Primary Operating Period	275 trips (avg.)	2.5 persons / vehicle	110 vehicles
Thu–Sun Peak Range	High Activity Scenario	250 – 300 trips	2.5 persons / vehicle	100 – 120 vehicles
Thu–Sun Non-Peak	Reduced Flow Period	10 trips	2.5 persons / vehicle	4 vehicles

Table TG-2 – Peak Hour Traffic Characteristics

Parameter	Value
Dominant Demand Window	Evening / Late Night
Trip Pattern Type	Arrival-Dominant then Departure-Dominant
Traffic Surge Behavior	Event-Driven Concentration
Peak Vehicle Volume	~110 vehicles
High-Intensity Scenario	~120 vehicles

Because the proposed Cloud 9 venue operates as an assembly-oriented nightlife entertainment use, trip generation characteristics are best represented by **ITE Land Use Code 444 (Nightclub)**. This land use category most closely reflects the temporal demand patterns, vehicle occupancy characteristics, and peak-period behavior associated with the project.

5. Parking Demand Model

Demand calculated via **attendance-based vehicle conversion**, which is standard for entertainment uses.

5.1 Adopted Assumptions

These values are conservative and defensible for urban nightlife:

Variable	Value	Basis
Vehicle Occupancy (O)	2.8 persons/vehicle	Nightlife behavior
Auto-Park Share (P)	0.55	Reflects rideshare capture

5.2 Parking Demand Calculations

Scenario	Attendance (A)	Calculation	Demand (Vehicles)
Low Activity Night	250	$(250 \div 2.8) \times 0.55$	49 vehicles
Typical Night	500	$(500 \div 2.8) \times 0.55$	98 vehicles
Peak Weekend	1,000	$(1000 \div 2.8) \times 0.55$	196 vehicles
High Event / Sell-Out	1,500	$(1500 \div 2.8) \times 0.55$	295 vehicles

6. Demand Allocation

Dedicated VIP parking is fixed: Remaining demand → Public Garage.

Scenario	Total Demand	VIP Valet	Public Garage Demand
Low Activity	49	9	40 vehicles
Typical Night	98	9	89 vehicles
Peak Weekend	196	9	187 vehicles
High Event	295	9	286 vehicles

Level of Service (LOS) Assessment

Traffic operations were evaluated using standard traffic engineering methodology. Conditions are presented for:

- **Existing Conditions** – Current roadway operations
- **Background Conditions** – Ambient growth / normal variation
- **With Project Conditions** – Background + Cloud 9 trips

The controlling period for analysis is the **evening peak hour (Thu–Sun)**, which corresponds to the highest expected project activity.

Table LOS-1 – Intersection Operations Summary

Scenario	Peak Hour Traffic Condition	Volume Change vs Existing	Expected Operational Effect	LOS Impact
Existing Conditions	Normal urban traffic patterns	Baseline	Stable operations	Acceptable
Background Conditions	Minor daily variation / growth	Negligible	No measurable degradation	Acceptable
With Project Conditions	Evening / nightlife demand period	Small incremental increase	No capacity constraint anticipated	Acceptable

Table LOS-2 – Peak Hour Demand Characteristics

Parameter	Assessment
Dominant Activity Window	Evening / Late Night
Trip Generation Pattern	Arrival-clustered / Departure-dispersed
Project Peak Contribution	Low relative to roadway capacity
Background Traffic Conflict	Minimal (non-commuter hours)
Intersection Sensitivity	Low

7. Supply vs Demand Adequacy

Compare against garage capacity (~640 spaces).

Even under high-intensity conditions:

Scenario	Public Demand	Garage Capacity	Reserve Margin
Peak Weekend	187	~640	Very Large
High Event	286	~640	Very Large

Adequacy Conclusion: - No structural parking deficiency indicated

- Garage capacity substantially exceeds demand
- Shared parking condition highly favorable at night

8. Circulation & Access Operations

Because parking is internal to the garage: • No new traffic conflicts created

- Existing ramps govern flow
- Demand spikes are manageable operationally



Table E1 – Parking Operations Measures

Measure	Purpose	When Applied
Rideshare pick-up/drop-off zone	reduces garage ramp congestion	Thu–Sun peak + events
Wayfinding signage to levels/elevators	reduces circulation searching	all operating periods
Staffed traffic marshals (event nights)	manages surges & pedestrian conflict	sell-out / special events
Pre-sold parking / validation policy	spreads arrivals and improves predictability	peak weekend
Dynamic message / QR map	reduces internal queueing	peak weekend
Post-event “staggered release” protocol	reduces ramp queue + neighbourhood noise	closing hour

Operational controls are recommended to address time-compressed arrival and departure surges typical of nightclub venues. A dedicated rideshare staging area, clear wayfinding, and event-night staffing reduce internal garage queueing and improve pedestrian safety near elevator cores and circulation nodes.

9. Traffic & Parking Management Recommendations

9.1 Circulation Controls

- Maintain one-way aisle logic
- Clear directional signage
- Dedicated valet staging zone
- Separate pedestrian flows near cores

9.2 Peak-Hour Controls

- Event-night parking staff
- Rideshare pick-up/drop-off designation
- Queue management near ramps
- Dynamic guidance / wayfinding

9.3 Safety Controls

- Pedestrian visibility emphasis
- Elevator lobby congestion management
- Conflict-point reduction

10. Traffic Impact Findings

Impact Category	Finding
Weekday Traffic	Negligible
Weekend Traffic	Temporal / manageable
Parking Supply	Adequate with large reserve
Roadway Capacity	No adverse effect
Access Geometry	Unchanged

11. Executive Summary

Cloud 9 functions as a **time-dependent entertainment land use**, characterized by evening and late-night activity patterns rather than commuter-oriented traffic demand. As such, the project does not introduce peak-hour congestion effects typically associated with office, retail, or institutional uses.

The proposed venue is located entirely on the **existing rooftop deck** of the municipal parking structure at 10 Delaware Avenue. No building footprint expansion, roadway alterations, or modifications to established access points are proposed.

Based on measured garage geometry and industry-standard structured parking efficiency metrics, the existing facility provides an estimated parking supply of approximately:

620 – 660 parking spaces
 (≈ 640 spaces central planning value)

Planning-level operational scenarios were developed to evaluate conservative peak demand conditions associated with weekend evening venue activity. Under these conditions:

Peak projected parked-vehicle demand: ≈ 196 – 295 vehicles

Findings

- The projected demand represents a **fraction of available structured parking capacity**
- Substantial surplus parking supply is maintained under peak conditions
- No parking deficiency is indicated

Traffic & Infrastructure Implications

Because the project:

- Utilizes an existing municipal parking resource
 - Introduces no new vehicular access points
 - Operates primarily during non-commuter periods
- No significant adverse traffic operational effects are anticipated. Roadway capacity degradation or geometric modifications are not expected to be required.

Limiting Statement (Critical for City Reviewers)

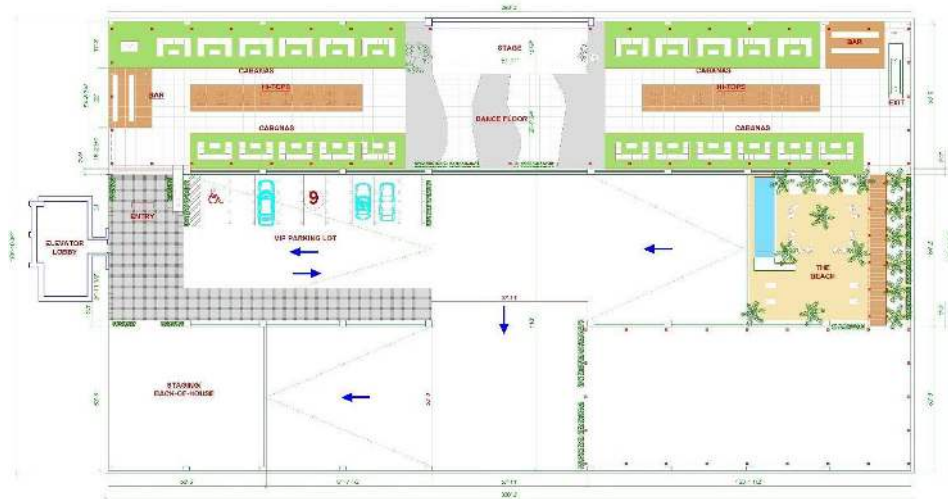
This study represents a **planning-level operational assessment** intended to evaluate order-of-magnitude parking and traffic effects based on reasonable and conservative demand assumptions. Actual operational characteristics may vary depending on attendance levels, event programming, and transportation mode selection.

Should future conditions warrant, demand management measures (including valet controls, rideshare management, or operational adjustments) can be implemented without requiring physical roadway modifications.

Conclusion

The proposed Cloud 9 rooftop venue is not expected to create:

- Parking supply deficiencies
- Unacceptable traffic operational impacts
- Off-site infrastructure constraints



With standard operational controls:

No significant adverse traffic or parking impacts are anticipated.

STRUCTURAL CAPACITY STATEMENT

Project: Cloud 9 Rooftop Entertainment Venue

Location: 10 Delaware Avenue
Camden, New Jersey 08102

Facility: Existing 4-Story Municipal Parking Garage

Roof Level: 4th Floor Open Parking Deck

Prepared for:

City Planning Review / Engineering Review

1. Purpose

This statement provides a structural engineering review regarding the ability of the existing roof deck of the municipal parking garage located at **10 Delaware Avenue, Camden, NJ**, to accommodate the proposed **Cloud 9 rooftop assembly venue**.

The proposed project involves the adaptive use of the existing rooftop deck for assembly occupancy including:

- dance floor
- stage area
- cabana seating
- bar service areas
- circulation areas
- temporary event furniture

The purpose of this statement is to confirm that the structural loading associated with the proposed use remains within reasonable limits for typical reinforced concrete parking structure roof decks.

2. Existing Structure Description

Based on the available information and drawings, the structure is an existing **reinforced concrete parking garage** consisting of:

- multiple parking levels
- concrete columns
- reinforced concrete beams
- cast-in-place concrete deck slabs

Typical parking garages of this construction type are designed to resist vehicle loads, distributed loads, and live loads associated with parking occupancy.

The roof level currently functions as an open parking deck and is therefore designed to accommodate vehicle loading patterns and associated distributed loads.

3. Applicable Design Standards

Structural evaluation is referenced to the following codes and standards:

- **International Building Code (IBC) 2018**
- **ASCE 7 – Minimum Design Loads for Buildings and Other Structures**

Relevant provisions include:

- IBC Table 1607.1 – Minimum Live Loads
- Assembly occupancy loading criteria
- Concentrated load provisions
- Uniform distributed load provisions

4. Assembly Live Load Comparison

IBC 2018 Minimum Design Live Loads

Occupancy	Minimum Live Load
Assembly areas without fixed seats	100 psf
Dance floors	100 psf
Parking garages (passenger vehicles)	40–50 psf typical design

However, parking structures are also designed to accommodate **vehicle loads**, which introduce significant concentrated loads beyond typical uniform assembly loading.

Typical passenger vehicles can impose wheel loads exceeding **2,000 – 3,000 lbs per wheel**, creating localized loads significantly higher than uniform assembly loads.

Therefore, structurally, parking decks often possess sufficient capacity to support distributed assembly loads when crowd density is controlled.

5. Proposed Rooftop Loading Conditions

The proposed rooftop venue includes primarily **distributed loads**, including:

- people standing and seated
- lightweight furniture
- temporary bar equipment
- small stage structures
- decorative elements

These loads are distributed over the deck surface and do not involve heavy permanent structural elements.

Expected distributed load scenario

Component	Estimated Load
Crowd load (assembly)	100 psf maximum
Furniture and equipment	10–20 psf
Temporary staging	localized load

Typical average event load will be substantially less than the maximum theoretical assembly load because the venue includes seating areas, circulation areas, and distributed use zones.

6. Concentrated Loads

Temporary structures including:

- stage platform
- lighting equipment
- cabana structures

should be designed to distribute loads over sufficient deck area using base plates or load spreading methods to avoid localized overstress.

No permanent structural modifications are proposed to the roof deck.

7. Structural Load Comparison Summary

Condition	Load Type
Original roof deck design	vehicle loading
Proposed venue load	distributed assembly load
Structural implication	assembly load generally less severe than vehicle loading

Because parking structures are designed to support the weight of vehicles and associated traffic loading, the structural demand created by distributed assembly occupancy is generally within the structural capacity of the deck when crowd loads are controlled.

8. Operational Load Control

To maintain safe structural performance, the rooftop venue will operate under a **controlled maximum occupancy limit** consistent with the life safety analysis prepared for the project.

Recommended operational controls include:

- maximum occupant load limits
- distribution of crowd loads across the roof area
- avoidance of excessive localized loads
- use of temporary stage platforms with load distribution

These measures ensure that structural demands remain within acceptable limits.

9. Structural Conclusion

Based on the available information and the typical design characteristics of reinforced concrete parking structures, the existing roof deck at **10 Delaware Avenue** appears capable of accommodating the proposed rooftop assembly use associated with the Cloud 9 venue, provided that:

- occupancy levels remain controlled
- temporary structures distribute loads appropriately
- no heavy permanent structures are introduced
- final structural review is conducted prior to construction

The proposed rooftop venue therefore represents a **reasonable adaptive reuse of the existing parking deck structure**, subject to final verification and approval by a licensed structural engineer.

10. Engineering Certification Placeholder

Final structural verification should be completed by a **licensed professional engineer** who will review:

- original structural drawings (if available)
- actual slab thickness
- beam sizes
- column spacing
- structural reinforcement details

Upon verification, the reviewing engineer may issue a stamped structural certification confirming structural adequacy.

ANALYSIS OF ADDED OCCUPANCY LOADS FOR NEW ROOFTOP ASSEMBLY VENUE ABOVE EXISTING 4-STORY MUNICIPAL PARKING STRUCTURE

Facility: 4-Story Parking Garage – 4th Floor Proposed Rooftop Assembly (A-2 Use)

✓ RESULT: EXISTING PARKING STRUCTURE WITHIN STRUCTURAL CAPACITY FOR PROPOSED ROOFTOP ASSEMBLY USE

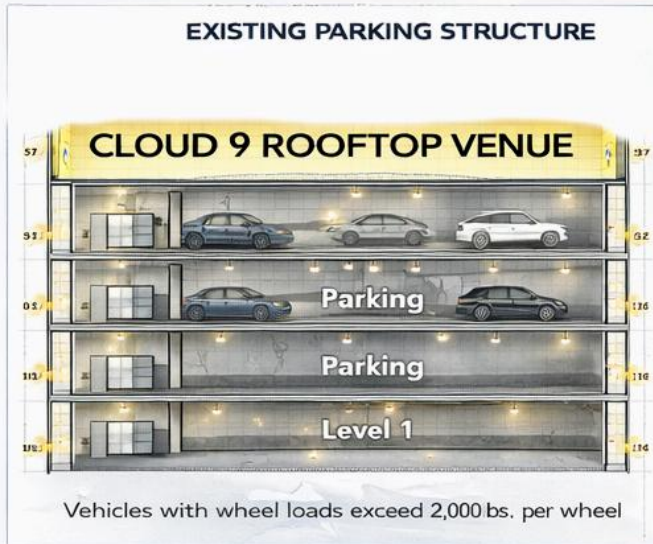
PURPOSE

Confirm if the existing **4-story** reinforced concrete municipal parking structure at 10 Delaware Ave. has sufficient structural capacity for **proposed rooftop assembly venue** use. **I.**

The proposed project involves the **adaptive use** of the existing **rooftop deck** for assembly occupancy including.

- Dance floor
- Cabana seating
- Conculation areas
- Stage area
- Bar service areas
- Temporaly event furnitdrę

Typical parking garagss are designed to resist vehicle / traffic loads, which generally exceed- exceed uniform assembly crowd loads.




PROPOSED ROOFTOP LOADING

Proposed Cloud 9 Rooftop Assembly Venue		
Event Capacity	749	100 psf
	OCCUPANTS	UNIFORM LOAD

Proposed Cloud 9 Rooftop Assembly Venue		
Crowd Load UNIFORM LOAD	100 psf	5-20 psf
	UNIFORM LOAD	LIGHTWEIGHT LOAD

Parking structures are designed to resist **vehicle / traffic loads**, which generally exceed uniform **assembly crowd** loads.

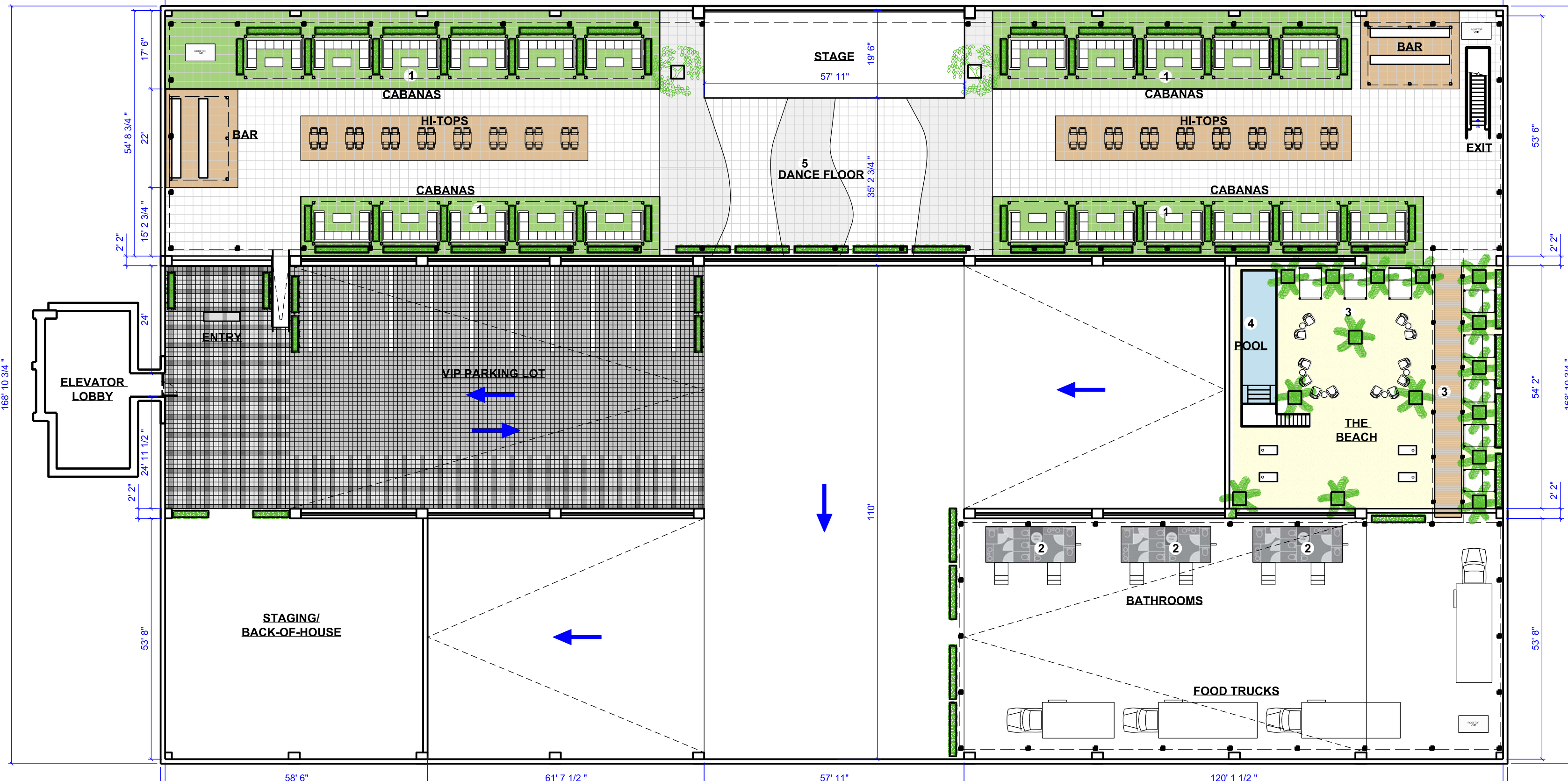
STERCUTURAL LOAD CONTROL

- ✓ Existing design capacity operatt/lor (749 max.)
- ✓ Temporary, lightweight stage and equipment
- ✓ Controlled event capacity (749 people max.) 
- ✓ Dsmbured event load generally withh structure's vehicle load capacity, especially at controlled capacity.

CLOUD 9



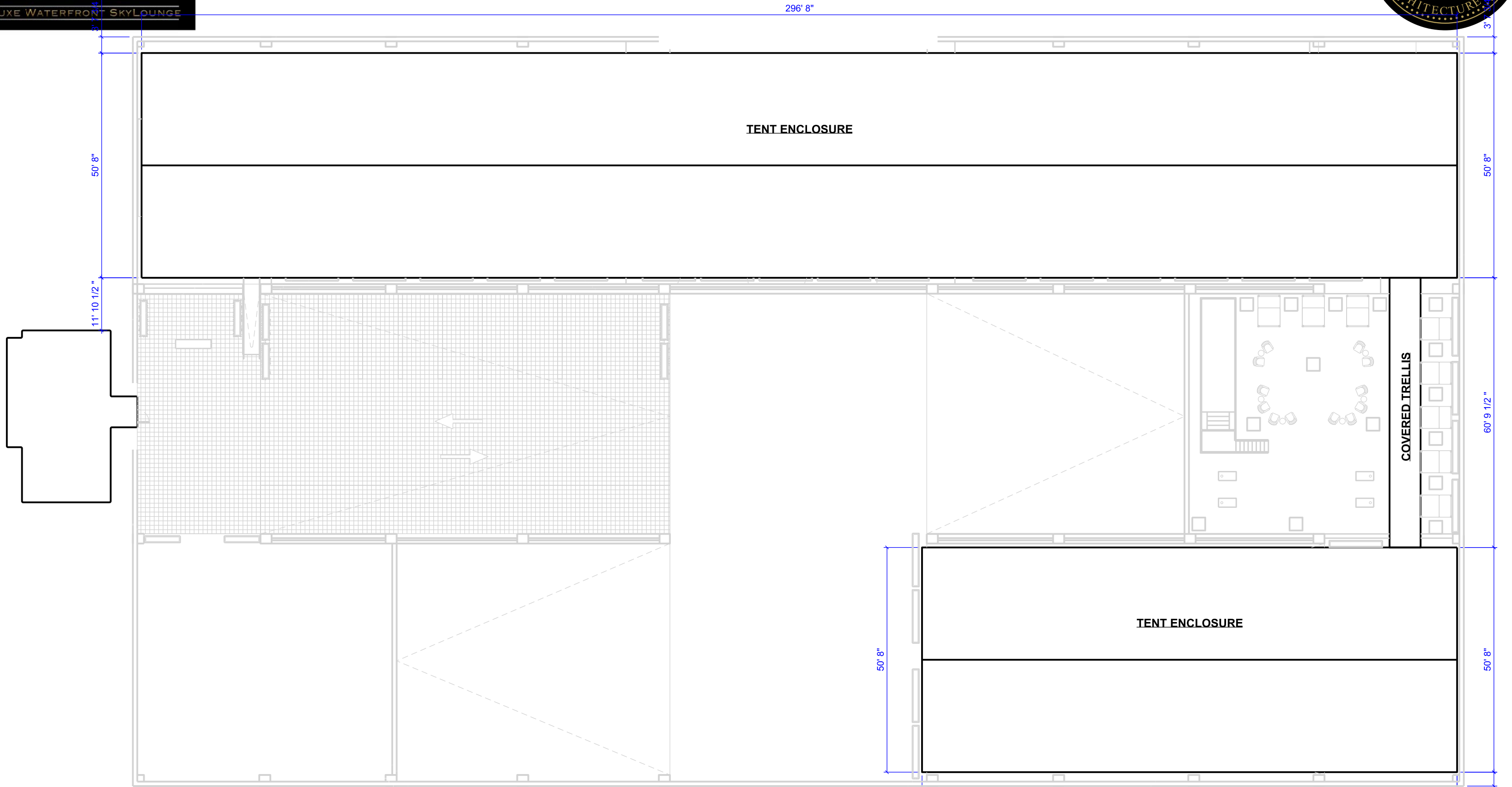
LUXE WATERFRONT SKYLOUNGE



STUDIO C
ARCHITECTURE

CLOUD 9 SKYLOUNGE

PROPOSED
FOURTH FLOOR PLAN
SCALE: 1"=20'



CLOUD 9



LUXE WATERFRONT SKYLOUNGE



STUDIO C
ARCHITECTURE

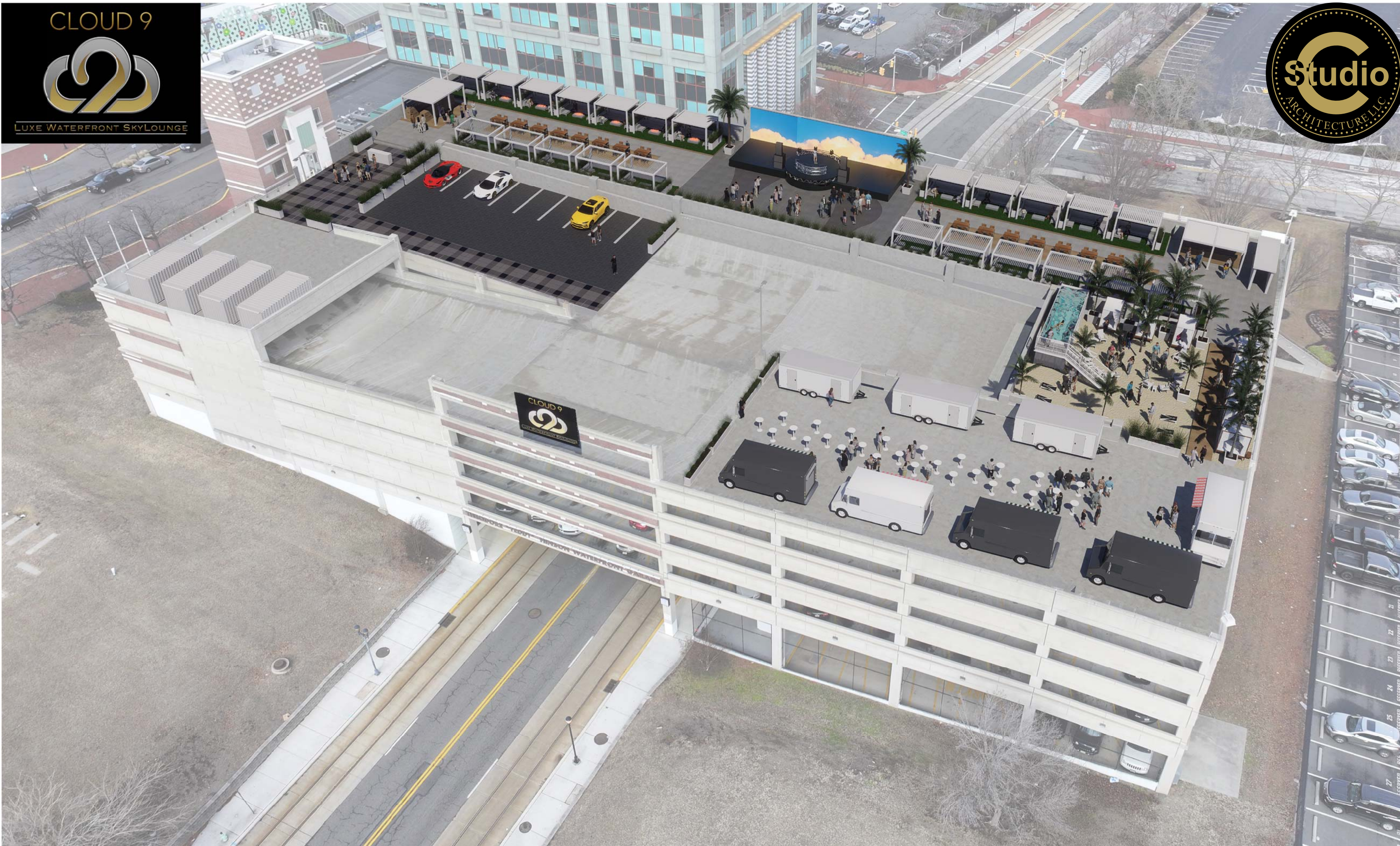
CLOUD 9 SKYLOUNGE

3D RENDERING:
AERIAL VIEW WITH
TENT

CLOUD 9



LUXE WATERFRONT SKYLOUNGE



STUDIO C
ARCHITECTURE

CLOUD 9 SKYLOUNGE

3D RENDERING:
AERIAL VIEW

CLOUD 9



LUXE WATERFRONT SKYLOUNGE



STUDIO C
ARCHITECTURE

CLOUD 9 SKYLOUNGE

3D RENDERING:
ENTRY VIEW

CLOUD 9



LUXE WATERFRONT SKYLOUNGE



STUDIO C
ARCHITECTURE

CLOUD 9 SKYLOUNGE

3D RENDERING:
STAGE VIEW

CLOUD 9



LUXE WATERFRONT SKYLOUNGE



STUDIO C
ARCHITECTURE

CLOUD 9 SKYLOUNGE

3D RENDERING:
CABANA VIEW

CLOUD 9



LUXE WATERFRONT SKYLOUNGE



STUDIO C
ARCHITECTURE

CLOUD 9 SKYLOUNGE

3D RENDERING:
BEACH VIEW

CLOUD 9



LUXE WATERFRONT SKYLOUNGE



STUDIO C
ARCHITECTURE

CLOUD 9 SKYLOUNGE

3D RENDERING:
FOOD TRUCKS &
BATHROOMS

**SITE PLAN APPLICATION
CHECKLIST**

CHECK IF COMPLETED

FOR OFFICE USE ONLY

- | | |
|--|-------|
| <input checked="" type="checkbox"/> 1. Zoning Application | _____ |
| <input checked="" type="checkbox"/> 2. Site Plan Applications & Site Plans (15 copies of both) | _____ |
| <input checked="" type="checkbox"/> 3. Proof of ownership (i.e. Deed, Tax Bill and/or <u>Lease</u>) | _____ |
| <input type="checkbox"/> 4. Signed Escrow Fee Agreement | _____ |

PRIOR TO SUBMISSION OF ANY SITE PLAN APPLICATIONS EVERY APPLICANT MUST CALL FOR A PRE-APPLICATION CONFERENCE.

IT IS STRONGLY ADVISED THAT THE APPROPRIATE PROFESSIONALS BE PRESENT AT SAID MEETING.

PRE-APPLICATION CONFERENCE FEE: \$500.00

(ACCORDING TO SECTION 577-270 OF THE CITY'S ZONING CODE)

***NOTE:**

- A. Incomplete applications will not be processed.
- B. Submission hours are 8:30am to 4:30pm, Monday through Friday. All applications must be stamped "received" by the Division of Planning. No outside drop-offs will be processed.
- C. All plans must be folded with *Title Block* facing upward.
- D. Whenever public notice is required, the Division of Planning shall prepare procedures for said notification and advise applicant of its readiness.



Revised 8/27/2020

The following checklist pertains to PLOT PLANS:

Check if Completed

For Office Use Only

- | | |
|---|-------|
| <input checked="" type="checkbox"/> 1. Name and Address of owner and applicant | _____ |
| <input checked="" type="checkbox"/> 2. Name, signature, licenses #, seal and address of engineer, land surveyor, architect, professional planner, and/or landscape architect (as applicable). | _____ |
| <input type="checkbox"/> 3. Title block denoting type of application, tax map sheet, county municipality, block and lot, and street address. | _____ |
| <input checked="" type="checkbox"/> 4. Key map not less the 1" – 1000" showing location of tract to surrounding street, municipal boundaries, etc. within 500'. | _____ |
| <input checked="" type="checkbox"/> 5. Schedule for required and proposed zone requirements for Lot area, frontage, setbacks, imperious coverage, parking, etc. | _____ |
| <input checked="" type="checkbox"/> 6. North arrow to top of sheet, scale and graphic scale. | _____ |
| <input checked="" type="checkbox"/> 7. Signature block for board chair, secretary, zoning officer/ administrative officer and engineer. | _____ |
| <input checked="" type="checkbox"/> 8. Date of property survey | _____ |
| <input checked="" type="checkbox"/> 9. Acreage of tract to nearest tenth | _____ |
| <input checked="" type="checkbox"/> 10. Date of original and all revisions | _____ |
| <input checked="" type="checkbox"/> 11. Size and location of existing or proposed structures and their dimension of setbacks | _____ |
| <input checked="" type="checkbox"/> 12. Location and dimensions of any existing or proposed streets | _____ |
| <input checked="" type="checkbox"/> 13. All proposed lot lines and area of lots in square feet | _____ |
| <input checked="" type="checkbox"/> 14. Copy of and plan delineation of any existing or proposed deed restriction | _____ |
| <input checked="" type="checkbox"/> 15. Any existing or proposed easement or land reserved or dedicated for public use | _____ |
| <input checked="" type="checkbox"/> 16. Existing streets, other right-of-way or easements; water courses, wetlands, soils floodplains, or other environmentally Sensitive area within 200' of tract | _____ |
| <input checked="" type="checkbox"/> 17. Topographical features of subject property from USGS 7.5 minute maps | _____ |

CHECK IF COMPLETED

FOR OFFICE USE ONLY

- 18. Boundary, limits, nature and extent of wooded areas, Specimen trees and other significant physical features _____
- 19. Drainage calculations _____
- 20. Proposed utilities: sanitary sewer, water, storm water management, telephone, cable TV and electric _____
- 21. Soil erosion and sediment control plan if more than 5000 sq. ft. _____
- 22. Spot and finished elevations at all property corners, corners of Structures, existing or proposed first floor elevations _____
- 23. Construction details road and paving cross-sections and profiles if no profiles needed _____
- 24. Lighting plan and details _____
- 25. Landscape plan and details _____
- 26. Site identification signs, traffic control signs, and directional signs _____
- 27. Sight triangles _____
- 28. Vehicular and pedestrian circulation patterns _____
- 29. Parking plan indicating spaces, size and type aisle width internal Collectors, curb cuts, drives and driveways and all ingress and Egress areas with dimensions _____
- 30. Preliminary architectural plan and elevations _____
- 31. Environmental impact report, parcels 2 acres or larger _____
- 32. Plan paper size should be 24 by 36 _____

**PURSUANT TO THE CODE OF THE CITY OF CAMDEN
(ARTICLE I, SECTION 233-4)**

SITE PLAN APPLICATION

(Please Answer ALL Questions)

APPLICANT Cloud 9 Luxe Waterfront Sky Lounge LLC

ADDRESS 2360 Route 33, Suite 112, Robbinsville, NJ 08691

TELEPHONE# 267-603-2493 **FAX#** _____

OWNER OF PROPERTY The Parking Authority City of Camden ("PACC")
(if other than applicant)

ADDRESS 10 Delaware Ave, Camden, NJ 08102

TELEPHONE _____

**IF APPLICANT IS INCORPORATE OR A PARTNERSHIP, LEGAL REPRESENTATION IS REQUIRED.
PLEASE PROVIDE THE FOLLOWING:**

ATTORNEY'S NAME Joseph J. Console Esq.

ADDRESS 1 W. 3rd Street Suite 109 Media PA 19063

TELEPHONE# 267-603-2493 **FAX#** 215-790-2969

EMAIL ADDRESS Joe@ConsoleLegal.com

PLEASE PROVIDE THE FOLLOWING INFORMATION BELOW:

ENGINEER AND/OR ARCHITECT NAME Christopher Carickhoff , Studio C Architecture

ADDRESS 422 Dudley Avenue Narberth PA 19072

TELEPHONE# 610-580-7964 **FAX#** _____

ADDRESS OF DEVELOPMENT 10 Delaware Ave, Camden, NJ 08102

BLOCK NO.(S) 140.01 **LOT NO.(S)** 2 **ZONE** _____

PRESENT USE(S) Parking Garage

DESCRIBE PROPOSED USES (S): Cloud 9 Luxe Waterfront Skylounge is a premier luxury destination, offering a sophisticated event space where guests can indulge in live music, breathtaking waterfront views, and an elevated nightlife experience in the heart of Camden, NJ. Designed to attract a discerning crowd from near and far. Cloud 9 sets the standard for upscale entertainment
(attach separate sheet if needed)

Anticipated to be open every Thursday to Sunday from 12 PM to 2 AM

SQUARE FOOTAGE OF PROPOSED USE 25,000 sqft

LOT AREA (Measured in Square Footage) 165 x 293 = 48,345 sqft

BUILDING AREA OF GROUND FLOOR _____

BUILDING AREA (Total Sq. Ft. - all floors) 25,000 sqft

NO. OF PROPOSED PARKING SPACES _____

NO. OF EXISTING PARKING SPACES _____

AREA IN ACRES OF ANY ADDITION ADJOINING LAND OWNED BY APPLICANT _____

DOES THIS APPLICANT CONSTITUTE:
(Please check appropriate box)

New Application

Preliminary Preliminary and Final

Revision or Resubmission of a prior application

*IS THIS APPLICATION FOR A VARIANCE TO CONSTRUCT A MULTI-DWELLING OF 25 OR MORE FAMILY DWELLING UNITS? (Please check) YES _____ NO

*IS THIS APPLICATION INTENDED FOR COMMERCIAL PURPOSE(S)?
(Please check) YES NO _____

IF THE ANSWER TO (A) OR (B) IS "YES", AND/OR IF APPLICANT IS A CORPORATION OR PARTNERSHIP, PLEASE PROVIDE THE FOLLOWING:

- Name and address of all stockholders or individual partners owning at least 10% of its stock, of any class, or at least 10% of the interest in the partnership, as the case may be. (Additional sheet may be attached if needed).

NAME		ADDRESS
		<u>1900 Frontage Rd, Apt 1004</u>
<u>Kenneth Walden</u>	<u>50%</u>	<u>Cherry Hill, NJ 08034</u>
<u>Jacqueline Sadler</u>	<u>50%</u>	<u>6 Thorn Lane Chesterfield, NJ 08515</u>

ESCROW DEPOSIT AGREEMENT BETWEEN THE CITY OF CAMDEN AND

DEPOSITOR Console Mation LLP

Address 1 W. 3rd Street Suite 109 Media PA 19063

Telephone No. 267 603 2493 Check No. _____

Depositor herewith deposits the sum of Three thousand SIX hundred and thirteen ^{23/2025} dollars (\$3,613.23) with the City of Camden in accordance with an subject to the provisions of the City of Camden Ordinance No. MC-2304, being incorporated by reference and made a part hereof, and agrees to the following:

1. Depositor's payment of said deposit is made in connection with an application for:
Site Plan Application Cloud 9 Luxe Waterfront Sky Lounge LLC
at _____
At (provide address with block and lot number): 10 Delaware Ave, Camden, NJ 08102
Block No.: 140.01 Lot No.: 2

2. The Treasure of the City of Camden shall be authorized to disburse to the City Engineer from the funds deposited, those fees required to be paid for the technical and professional review by the Zoning Board of Adjustment and/or Planning Board pursuant to the terms of Ordinance MC-2304.
3. All fees shall be disbursed upon reconciliation of the Engineer & Insurance Escrow Accounts by Ordinance MC-2304.
4. If there are insufficient funds in the depositor's escrow account to pay all pending bill attribute to the aforementioned project, depositor shall be notified by the appropriate agency and requested to make an additional deposit into the escrow account.
5. Depositor understands that if he/she fails to make any additional deposit required, depositor's application shall be denied.
6. Any additional deposits shall be made to the Treasure, City of Camden, by way of the Division of Planning, in accordance with the terms set forth herein unless otherwise agreed to by the depositor and the approving agency.
7. The City of Camden shall not be required to pay interest on any sums held pursuant to this agreement.

IN WITNESS WHEREOF the undersigned hereby accepts the terms and conditions of this agreement.

07/11/2025

DATE:

Joseph J. Console

Applicant or Authorized Signature

PLEASE READ

ASSESSMENT CERTIFICATION

Section A: Applicant shall complete

SECTION A

OWNER

Name of OWNER of Property The Parking Authority City of Camden ("PACC")

Address: 10 Delaware Ave, Camden, NJ 08102

SEARCH Address: 10 Delaware Ave, Camden, NJ 08102

Block: 140.01 Lot: 2 Account: _____

Section B: Applicant shall take this form to the City of Camden Tax Office, Room 117 (1st floor) for completion to indicate whether taxes are paid up to date. Applicant must also go to the PNC Bank (Broadway & Market St) for water and sewer to make sure water/sewer is paid up to date. Upon completion, this form shall be submitted with original application. **NO APPLICATIONS WILL BE ACCEPTED -if any money is owed for Taxes or Water/Sewer, no permit can be issued until accounts are paid in full-proof of payment must be brought back before turning application in.**

Section C: TAX OFFICE & PNC BANK

An application for Zoning/Sign permit has been submitted to the Division of Planning. Please check your records to be certain that the account is current

I HEREBY CERTIFY THAT THE PROPERTY ASSESSMENT ARE:

Account Type	Qtr.	Due date	Amount Owed	Other
(Taxes/W&S/Other)		<u>NOT BILLING</u>		<u>SP 2/14/25</u>
(Taxes/W&S/Other)			<u>0</u>	<u>Am 7.14.25</u>
(Taxes/W&S/Other)				
(Taxes/W&S/Other)				

COMMENTS: Tax Exempt

DATED: _____

PREPARED BY: _____

PARKING LOT SITE LICENSE AGREEMENT

THIS SITE LICENSE AGREEMENT (the “**Agreement**”) made and entered into this _____ day of _____, 2025 by and between **PARKING AUTHORITY OF THE CITY OF CAMDEN**, a body politic of the State of New Jersey, whose address is 10 Delaware Avenue, Camden, New Jersey 08103 (“**PACC**”), and **CLOUD 9 LUXE WATERFRONT SKY LOUNGE, LLC**, (“**Cloud 9**”), (collectively, the “**Parties**”).

RECITALS

WHEREAS, Cloud 9 proposes to use the rooftop portion of the garage owned and managed by PACC, being known as the Hinson Garage, 10 S. Delaware Avenue, Camden, NJ and described in **Exhibit A**, attached hereto and made a part hereof by reference (the “**Property**”), for the purpose of using the Property as a seasonal temporary event space.

WHEREAS, PACC’s lease of the Property to Cloud 9 and its retained rights under this Agreement for use of the Property are consistent with the use of the Property for public purposes;

NOW, THEREFORE, in consideration of the payments and mutual promises contained herein, receipt whereof is hereby severally acknowledged, PACC and Cloud 9 hereby confirm the terms and conditions upon which they individually and collectively will use and occupy the Property and their respective responsibilities for operation and maintenance of the Property as follows:

Subject to the conditions specified in **Exhibit B**, which is attached hereto and incorporated herein by reference, PACC will make the Property available upon the following terms and conditions:

1. **Leased Premises**. PACC hereby agrees to lease to Cloud 9, and Cloud 9 hereby leases from PACC the rooftop portion of the Property as described in Exhibit A and subject to all the conditions and restrictions as stated in Exhibit B. Auxiliary uses reasonably related to event operations shall be permitted with PACC’s prior written consent, which shall not be unreasonably withheld or delayed.
2. **Use and Maintenance of Property**. PACC is leasing the Property to Cloud 9 for the purpose of using and operating the Property for seasonal event space, including a lounge, stage, restrooms and auxiliary uses. PACC hereby agrees that it is responsible for all day-to-day maintenance and operation of the Property – for example, snow removal, trash removal, security and similar activities. Cloud 9 shall be responsible for all construction, maintenance, repair and replacement of equipment, if any and Cloud 9 will be responsible for their own security and maintenance staff for the leased Property. Notwithstanding this provision, the parties understand and acknowledge that PACC enforcement officers will also regularly enforce the Property but the PACC does not warrant or represent that this will occur on a daily basis. It is further understood and agreed that Cloud 9 will collaborate with the County Police and City Fire Departments to ensure compliance with their requirements.

3. **Term; Rent.**

(a) The term during which the Property will be made available (the “**Term**”) will begin on May 1, 2025, and terminate on April 31, 2030, unless terminated earlier pursuant to the terms of this Agreement.

(b) During the Term, PACC shall collect and keep all parking revenue at the Property, without exception, and Cloud 9 shall pay to PACC rent monthly as follows, within thirty (30) days of the invoice date:

(i) \$5,000.00 per month, beginning on the Rent Commencement Date (as defined below) , increasing by 5% as follows:

Lease Year(s)	Monthly Base Rent
1 - 2025	WAIVED
2	\$5,250.00
3	\$5,512.50
4	\$5,788.12
5	\$6,077.52

(c) RENT COMMENCEMENT DATE Rent shall not become due unless or until Tenant receives the following:

i. All necessary operational approvals by the City of Camden and the State of New Jersey, including approval of the transfer of the liquor license.

(d) Cloud 9 shall be responsible for its portion of all utilities including, electric, water, sewer and all other similar utility costs for its operations actually metered or separately sub-metered to its operations. PACC shall cooperate to ensure fair allocation of shared utilities..

(e) Cloud 9’s failure to make said payment shall result in assessment of a late charge in the amount of 5% of the outstanding rental payment amount.

(f) Any past due amounts for rent due from the date of this Agreement forward shall be payable to PACC within thirty (30) days of said due date without invoice. If Cloud 9 fails to pay any amount it owes to PACC under this Agreement when that amount is due, Cloud 9 shall be assessed a late charge in the amount of 5 percent (5%) of the late rental payment amount.

(g) Notwithstanding the above, upon at least thirty (30) days written notice to the other party, and only after good faith consultation regarding the basis for the termination and a forty-five (45) day opportunity to cure any defects, PACC and Cloud 9 shall have the right to terminate this Agreement.

(h) Tenant hereunder shall have a one time, four (4) year option to renew the license, written notice of intention to renew by Tenant is required to be submitted 90 days prior to the

expiration of this agreement. The monthly rent due for each year of the option shall increase by 2.5% per year over the previous years's monthly rent. Any further extensions beyond year nine (9) will require negotiation of all terms between the Parties.

4. **Indemnification; Insurance.**

(a) To the extent permitted by law, each party agrees to protect, defend and indemnify the other, its officers, agents, and employees from any and all liabilities, claims, liens, fines, demands and costs, including legal fees, of whatsoever kind and nature which may result in injury or death to any persons, including the respective parties' own employees, and for loss or damage to any property, including property owned or in the care, custody or control of the respective party in connection with or in any way incident to or arising out of the occupancy, use, operations, performance or non-performance of work in connection with this Lease resulting in whole or in part from the negligent acts or omissions of the respective party, its officers, agents, and employees. This provision is not intended, and shall not be construed, to waive or limit any immunity defense which the respective governmental entity may have, including but not limited to governmental immunity. In the event of joint or concurrent negligence of Cloud 9 and PACC, each shall pay its own costs and expenses incurred in defending against the action and each shall pay that portion of the loss or expense that its share bears to the total negligence by a court of competent jurisdiction.

(b) It is acknowledged that each party insures its general liability exposures. During the Term, each party will procure and maintain such insurance policies or self-insurance coverage as will protect itself from all claims for bodily injuries, death or property damage which may arise in connection with their respective use of the Property under the terms of this Agreement. Each party agrees to name the other as an "additional insured" on the policies with respect to any action taken in connection with uses or requirements stated in Exhibit B. The respective parties shall be responsible to each other or the insurance companies insuring the respective parties for all costs resulting from both financially unsound insurance companies selected and their inadequate insurance coverage. If requested, a party shall furnish the requesting party with satisfactory certificates of insurance or a certified copy of the policy.

5. **Conditions to Effectiveness.** The commitment of PACC to lease the Property to Cloud 9 on the terms specified herein is subject to the satisfaction (or waiver, in writing, by PACC as to the City) of necessary approval of the Agreement and authorization of its execution by resolution of the governing bodies of PACC. Furthermore, Cloud 9, in the event approvals for operation are not received, shall have no obligation to continue under this lease.

6. **Termination for Default/Mutual Termination.**

(a) The following will constitute events of default under this Agreement:

i.) The failure by Cloud 9 to pay any rent within thirty (30) days after the date for payment specified in Section 3(b); or

ii.) The breach by Cloud 9 of any commitment under this Agreement and the failure to remedy that breach within thirty (30) days after the date that PACC delivers written notice identifying such breach and demanding such remedial action. Upon the

occurrence of an event of default, PACC, by further written notice to Cloud 9, may terminate this Agreement effective thirty (30) days following the day of delivery of such notice. In such event, the obligations of PACC will terminate as of the effective date of such termination, Cloud 9 will remain liable to PACC for all rent accrued under this Agreement through the effective date of termination and any damages incurred by PACC as a result of such default.

(b) This Agreement will terminate if, at any time prior to the termination by expiration (Section 3), default (Section 6) or early termination (Section 7), the parties mutually agree, in writing executed by an authorized official of the parties, to terminate the Agreement; a request for mutual termination by any party shall not be unreasonably refused by the other party except upon proof of good cause, such as irreparable and serious harm to refusing party.

7. **Assignment.** Cloud 9 shall not assign this Agreement or sublease the Premises without the prior written consent of PACC, which consent shall not be unreasonably withheld, conditioned, or delayed.

9. **Binding Effect/No Third Party Benefits.** This Agreement is binding upon and shall inure to the benefit of the parties hereto. This Agreement shall not be construed to create in any person or entity not a party, any right, claim, benefit or defense with respect to the parties, or in any party claiming by, through or under either of them, with respect to any loss, cost, damage, claim or cause of action arising under or pursuant to the terms of this Agreement.

10. **Notices.** All notices permitted or required under this Agreement shall be in writing and addressed to the parties at their addresses set forth above, or such other addresses as provided in writing. For PACC, all notices shall be sent to the address as set forth above to the attention of the Executive Director. Any such notice shall be sent by certified mail, return receipt requested, express overnight delivery, delivered personally or sent by facsimile. Any notice sent by certified mail, return receipt requested, will be deemed delivered on the third business day after mailing. Any notice sent by express overnight delivery will be deemed delivered on the following business day after delivering such notice to the carrier. Any notice given by personal delivery or by facsimile prior to 5:00 p.m. will be deemed delivered on the date of such delivery or, if 5:00 p.m. or later, on the next business day. Any notice which a party fails or refuses to accept will be deemed delivered on the date of such failure or refusal. The parties hereto may change their addresses for notice purposes by a notice sent in accordance with the provisions of this Agreement, but no such address shall be a post office box.

11. **Authority.** The signatories on behalf of the parties hereto hereby represent and warrant to the other parties hereto that they are duly authorized to execute and deliver this Agreement on behalf of such party and that this Agreement is binding upon and enforceable against such party.

12. **Applicable Law.** This Agreement shall be interpreted and construed in accordance with the laws of the State of New Jersey.

13. **Counterparts.** This Agreement may be executed in one or more counterparts, each of which will be deemed an original but all of which together shall constitute but one and the same Agreement.

14. **Amendments.** No amendment, change or modification of any of the terms, provisions or conditions of this Agreement will be effective unless made in writing and signed or initialed on behalf of the parties hereto by their duly authorized representatives.

15. **Entire Agreement.** This Agreement constitutes the entire agreement between the parties hereto pertaining to the subject matter hereof and supersedes all negotiations, preliminary agreements and prior to contemporaneous discussions and understandings of the parties hereto in connection with the subject matter hereto.

16. **Non-Compete.** Landlord agrees that for the duration of the Lease Term , the Landlord shall not lease any space at the Premises to any entity engaged in the business of operating a rooftop bar or lounge or any similar or related business. Landlord agrees to act in good faith and not seek to thwart, obstruct or otherwise take actions to replace Tenant with a competitor. However, once the lease is terminated it is understood the Landlord is free to negotiate, solicit or otherwise utilize the Premises in a way Landlord deems in its best interest.

SIGNATURES TO FOLLOW ON NEXT PAGE

IN WITNESS WHEREOF, the parties hereto have executed this Agreement the day and year first above written.

CLOUD 9 LUXE WATERFRONT SKY LOUNGE, LLC

By:  _____
ID rycp83cW2T25XEF7FqX9212

Name: Jacqueline Sadler

Title: Manager

PARKING AUTHORITY OF THE CITY OF CAMDEN

By: Willie Hunter _____

Name: **WILLIE HUNTER**

Title: **Executive Director**

EXHIBIT A

Rooftop portion only:

10 S. Delaware Avenue, Camden, New Jersey

Being Block 40.01, Lot 2

City of Camden, County of Camden and State of New Jersey

EXHIBIT B

eSignature Details

Signer ID:	rycp83cW2TZ5XEFf7FqX9212
Signed by:	Jacqueline Sadler
Sent to email:	imaginedesignpa@gmail.com
IP Address:	172.56.29.72
Signed at:	May 14 2025, 10:20 am EDT

ZONING INFORMATION

PROJECT: CLOUD 9
MUNICIPAL TAX BLOCK AND LOT NUMBER(S): TRACT #1, BLOCK 140.01, LOT 2
 TRACT #2, BLOCK 139.02, LOT 2
ADDRESS: 10 DELAWARE AVENUE
 CAMDEN NJ 08102

APPLICABLE ZONING + BUILDING CODES:
 CAMDEN ZONING CODE
 2018 INTERNATIONAL BUILDING CODE

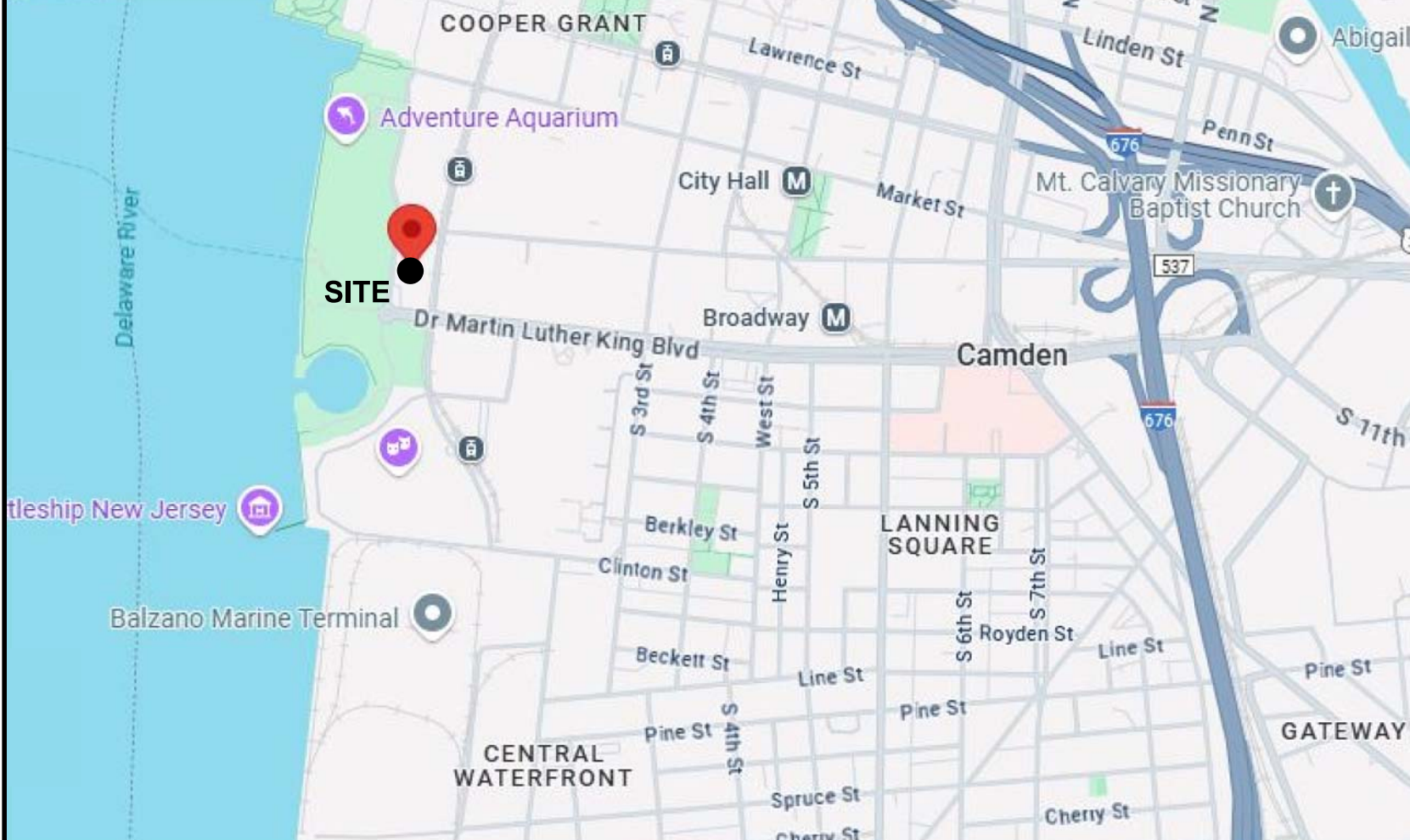
DIMENSIONAL STANDARDS FOR COMMERCIAL DISTRICTS (TABLE 16):
 ZONING CLASSIFICATION: MW-2 MIXED WATERFRONT ZONE

	REQUIRED	PROPOSED
MINIMUM LOT AREA (SF)	N/A	63,292 (EXISTING)
MAXIMUM LOT AREA (SF)	N/A	63,292 (EXISTING)
MAXIMUM LOT COVERAGE (%)	80	80% (EXISTING)
MAXIMUM LOT IMPERVIOUS COVERAGE (%)	90	80% (EXISTING)
MINIMUM LOT WIDTH (FT)	50	355'-7" (EXISTING)
MINIMUM LOT DEPTH	N/A	189'-5" (EXISTING)
MINIMUM FRONT SETBACK (FT)	N/A	11'-3" (EXISTING)
MINIMUM SIDE YARD WIDTH (FT)	N/A	3'-10" 23'-3" (EXISTING)
MINIMUM REAR YARD (FT)	N/A	2'-4" (EXISTING)
MAXIMUM HEIGHT (FT)	N/A	4 STORIES (EXISTING)

PROPERTY OWNER:
 PARKING AUTHORITY - CITY OF CAMDEN
 10 DELAWARE AVENUE
 CAMDEN NJ 08102

PROJECT DESCRIPTION:
 PROPOSED ASSEMBLY USE (NIGHTCLUB) ON EXISTING ROOF DECK OF EXISTING 4-STORY PARKING GARAGE INCLUDING 9 PARKING SPACES, BATHROOM TRAILERS, FOOD TRUCKS AND CABANAS. NO NEW WORK OUTSIDE EXISTING FOOTPRINT.
 TOTAL DEVELOPED AREA: 50,696 SF

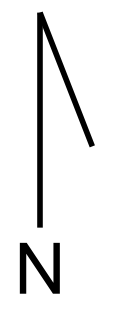
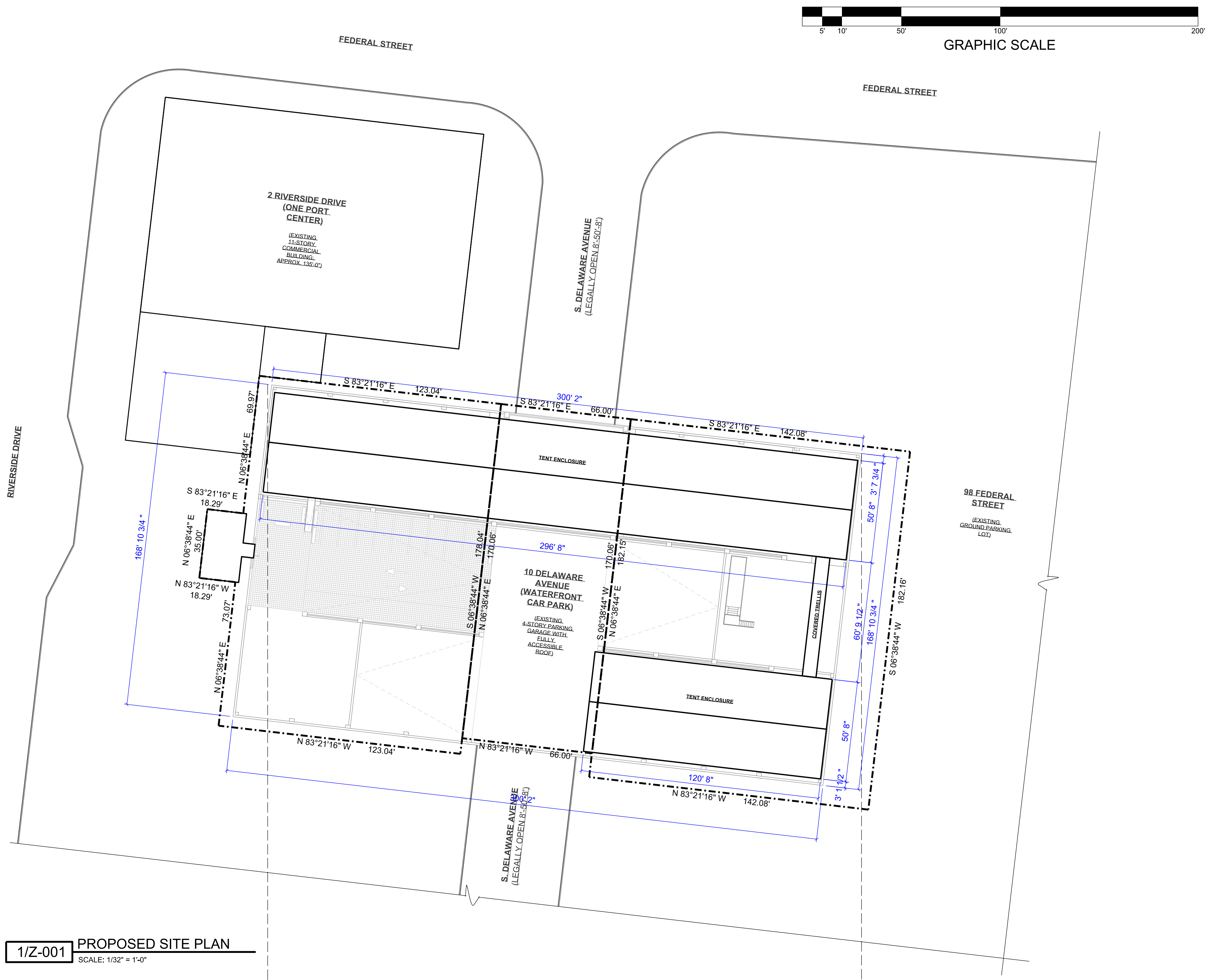
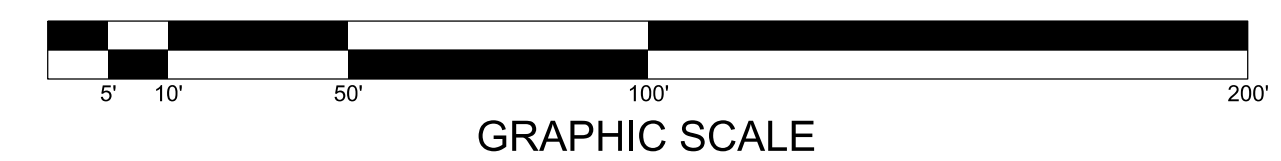
VICINITY MAP: 1" = 1000'



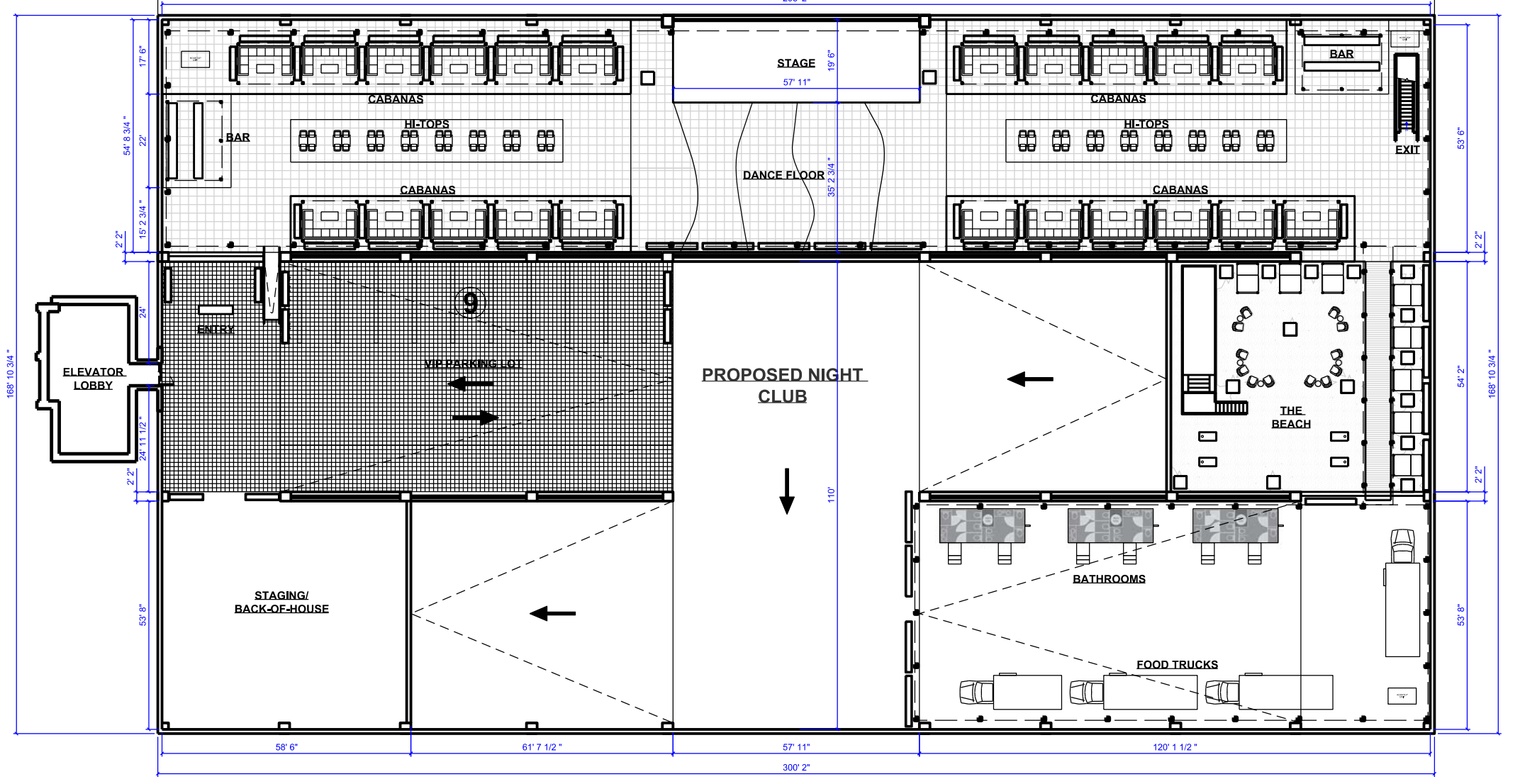
3D RENDERING (FOR ILLUSTRATIVE PURPOSES ONLY)



SHEET SIZE: ARCH D, 24" x 36"



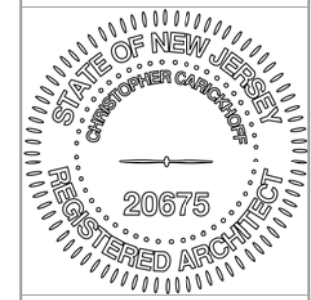
1/Z-001 PROPOSED SITE PLAN
 SCALE: 1/32" = 1'-0"



2/Z-001 PROPOSED ROOF DECK PLAN
 SCALE: 1/32" = 1'-0"



STUDIO C
 ARCHITECTURE, LLC



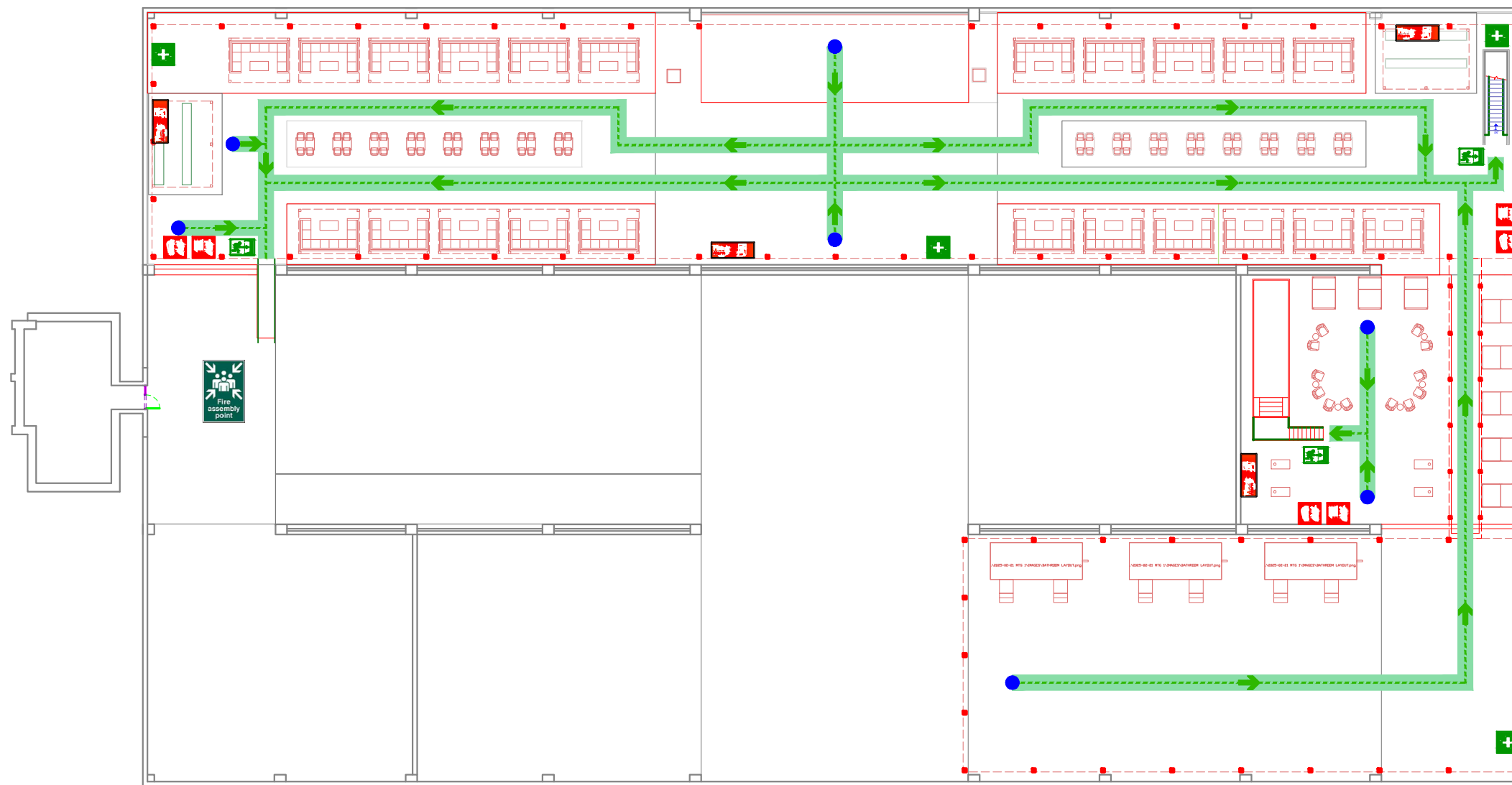
CLOUD 9
 10 DELAWARE AVE
 CAMDEN NJ 08102

DATE
 06.09.25
 06.11.25

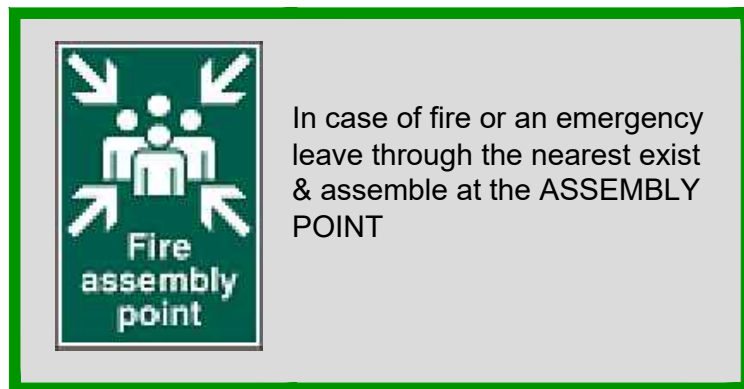
ISSUE
 PERMIT SUBMISSION
 ZONING REV-1

PROPOSED SITE PLAN AND ZONING INFORMATION









Z-001

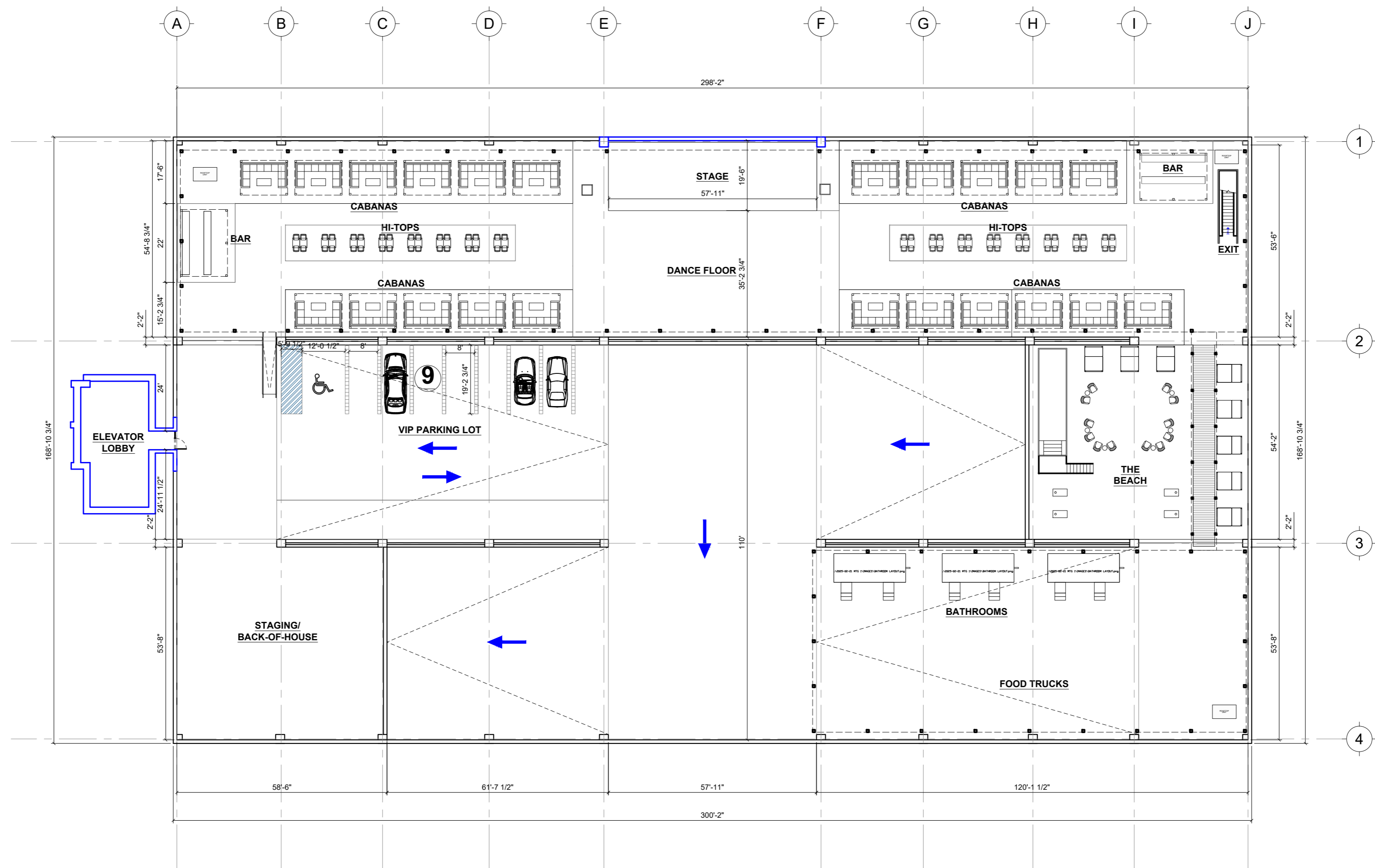


FIRE SAFETY PLAN
 SCALE 1/16" = 1'-0"



LEGEND

- | | | | |
|---|----------------------------|---|--------------------------|
|  | YOU ARE HERE |  | EMERGENCY EXIT DIRECTION |
|  | FIRE EXTINGUISHER |  | ASSEMBLY POINT |
|  | FIRE ALARM |  | FIRST AID KIT |
|  | REINFORCED
FIRE HYDRANT |  | EXIT DIRECTION |



○ 4TH FLOOR PLAN
 SCALE 1/16" = 1'-0"



STUDIO C
 ARCHITECTURE, LLC

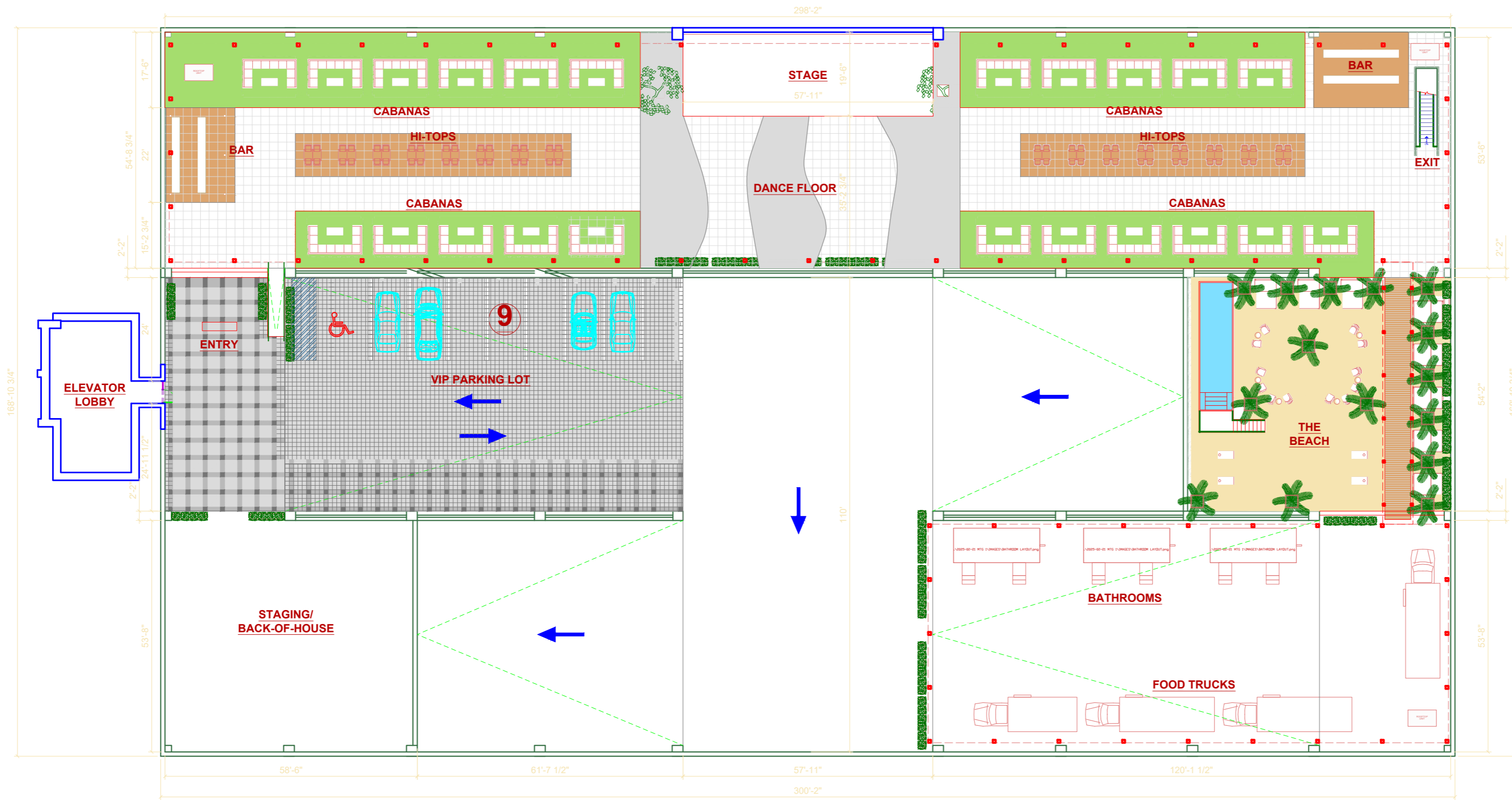


CLOUD 9
 10 DELAWARE AVE
 CAMDEN NJ 08102

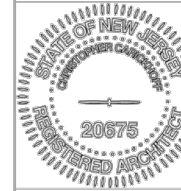
DATE	06.09.25
06.11.25	

ISSUE	PERMIT SUBMISSION
ZONING	REV-1

PROPOSED
 SITE PLAN
 AND ZONING
 INFORMATION



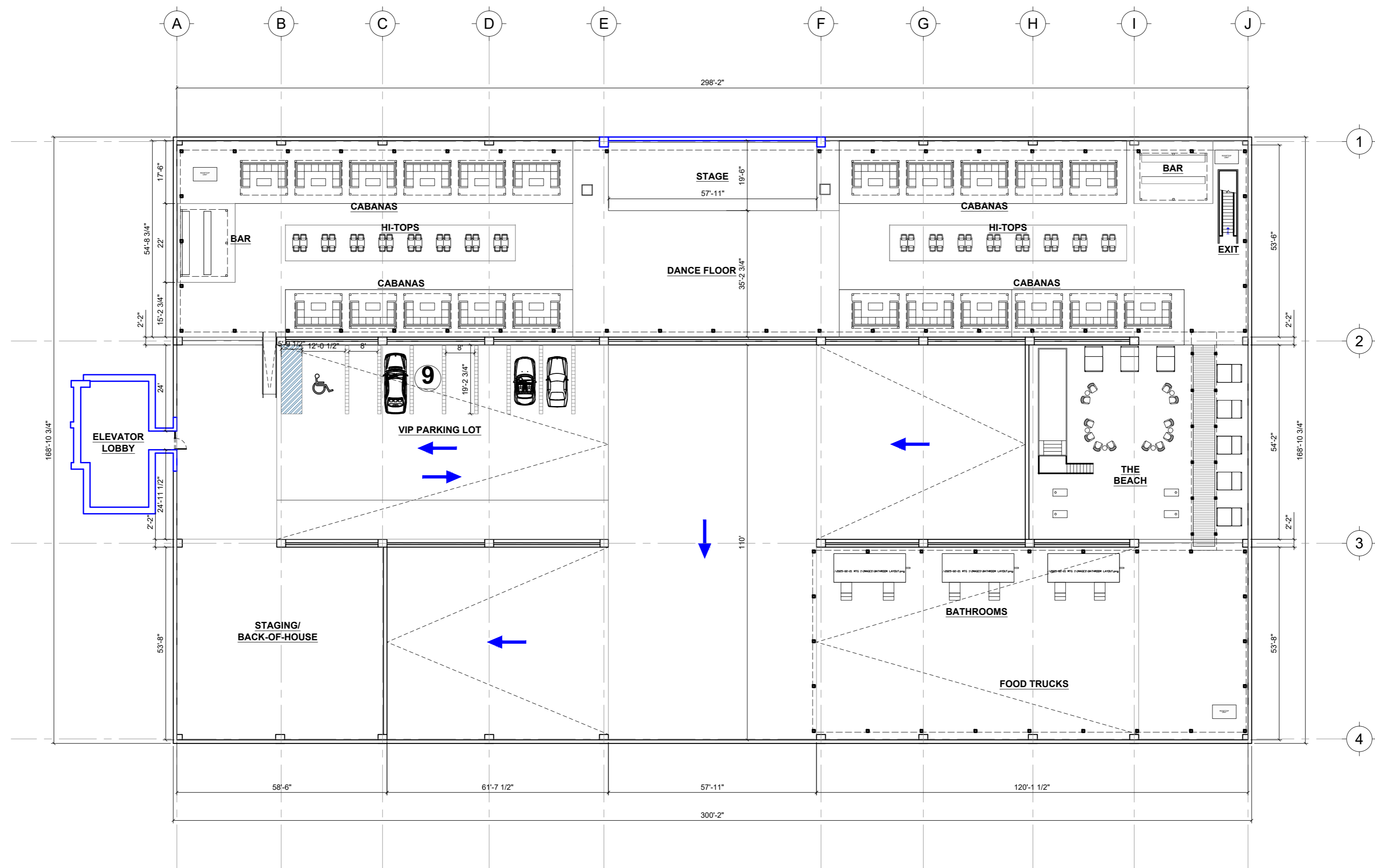
STUDIO C
ARCHITECTURE, LLC



CLOUD 9
10 DELAWARE AVE
CAMDEN NJ 08102

ISSUE	DATE
PERMIT SUBMISSION	06.09.25
ZONING REV-1	06.11.25

PROPOSED
SITE PLAN
AND ZONING
INFORMATION



○ 4TH FLOOR PLAN
 SCALE 1/16" = 1'-0"



STUDIO C
 ARCHITECTURE, LLC

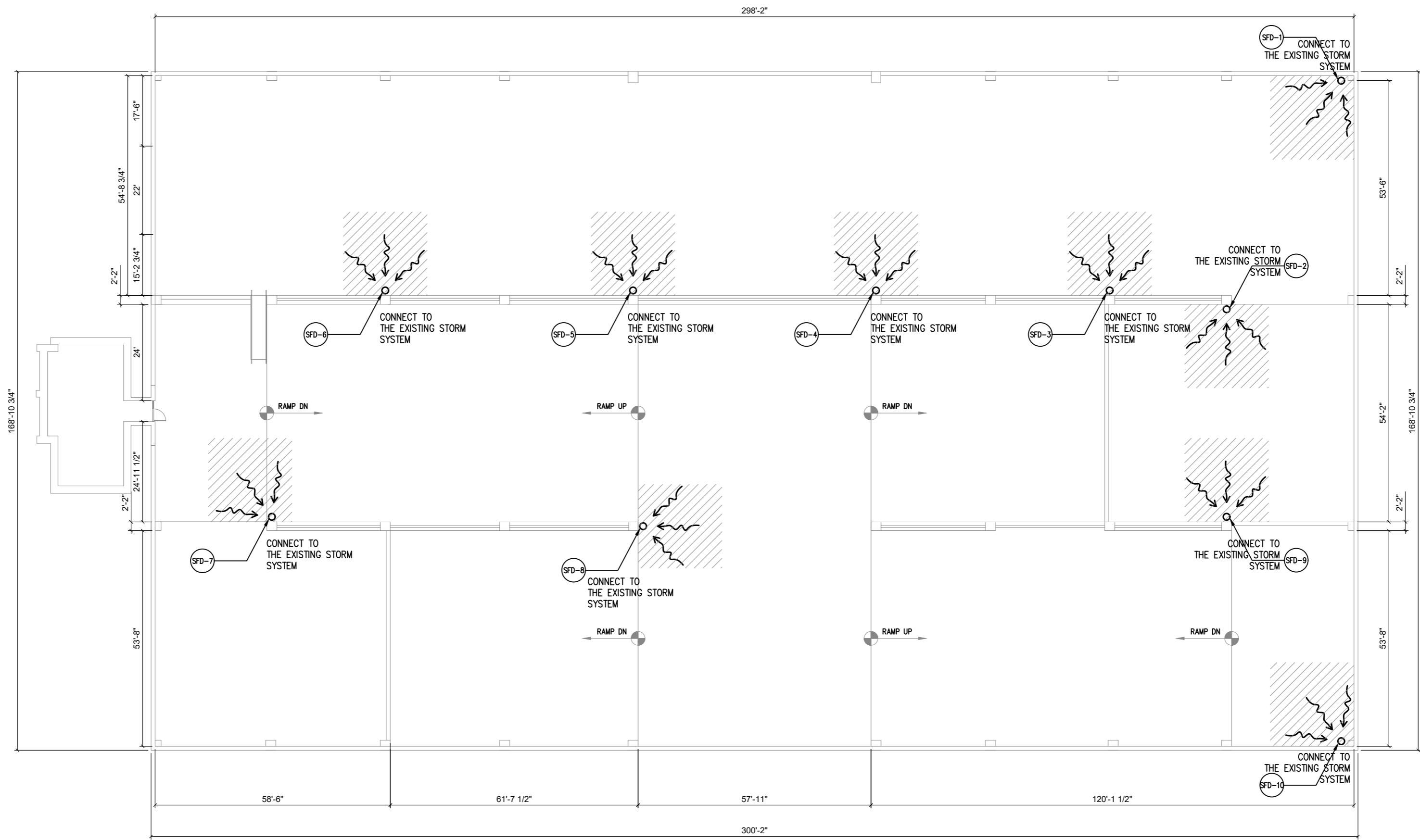


CLOUD 9
 10 DELAWARE AVE
 CAMDEN NJ 08102

DATE	06.09.25
PERMIT SUBMISSION	06.11.25

ISSUE	PERMIT SUBMISSION
ZONING	REV-1

PROPOSED
 SITE PLAN
 AND ZONING
 INFORMATION

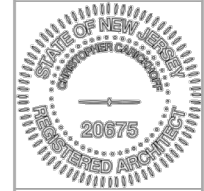


○ STORM WATER DRAINAGE
 SCALE 1/16" = 1'-0"

LEGEND	
○	SUPPLEMENTAL FLOOR DRAIN (SFD)
~	WATER DIRECTION TO SFD
↗	RAMP TO LEVEL UP
↘	RAMP TO LEVEL DOWN



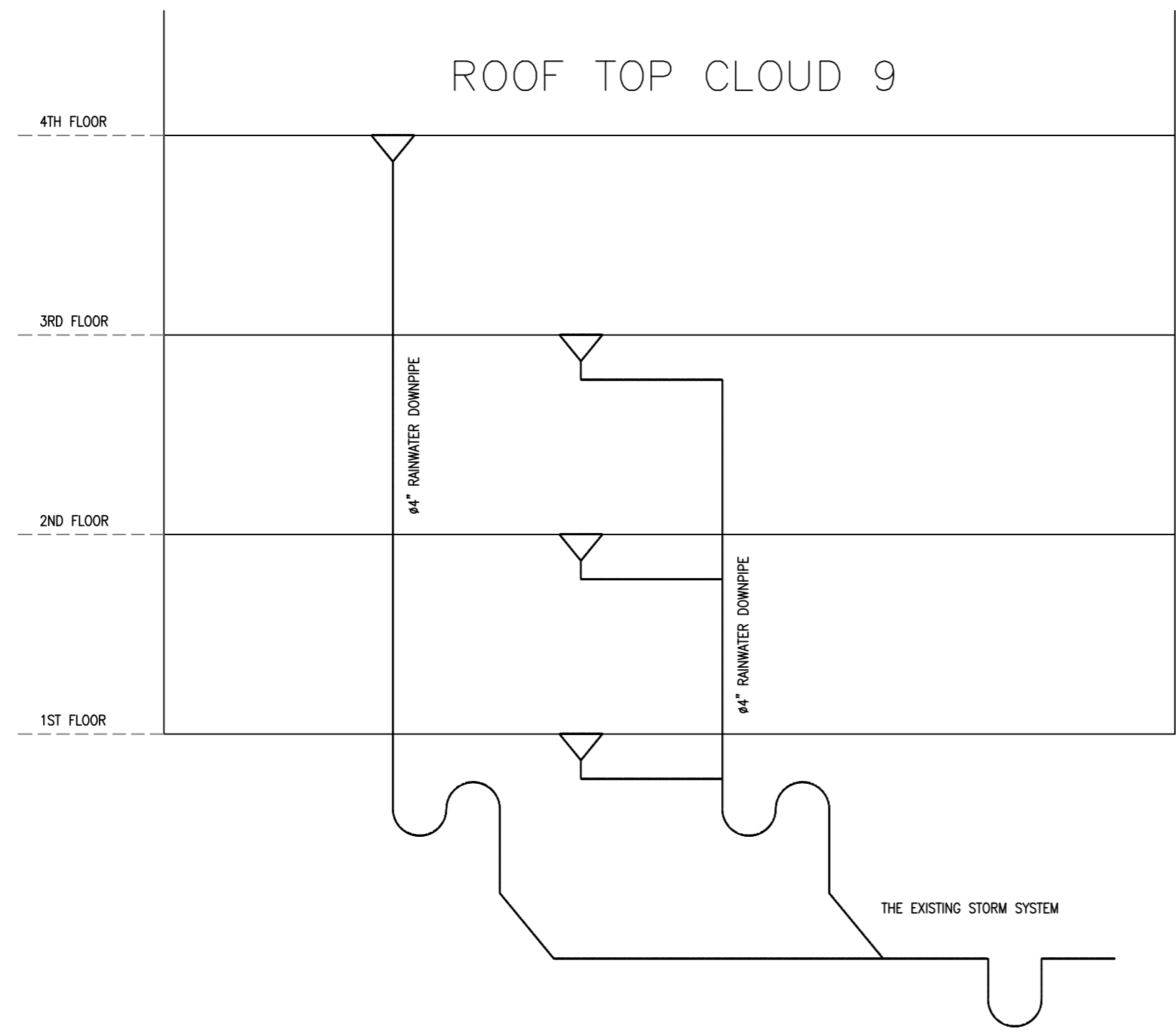
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 ARCHITECTURE, LLC



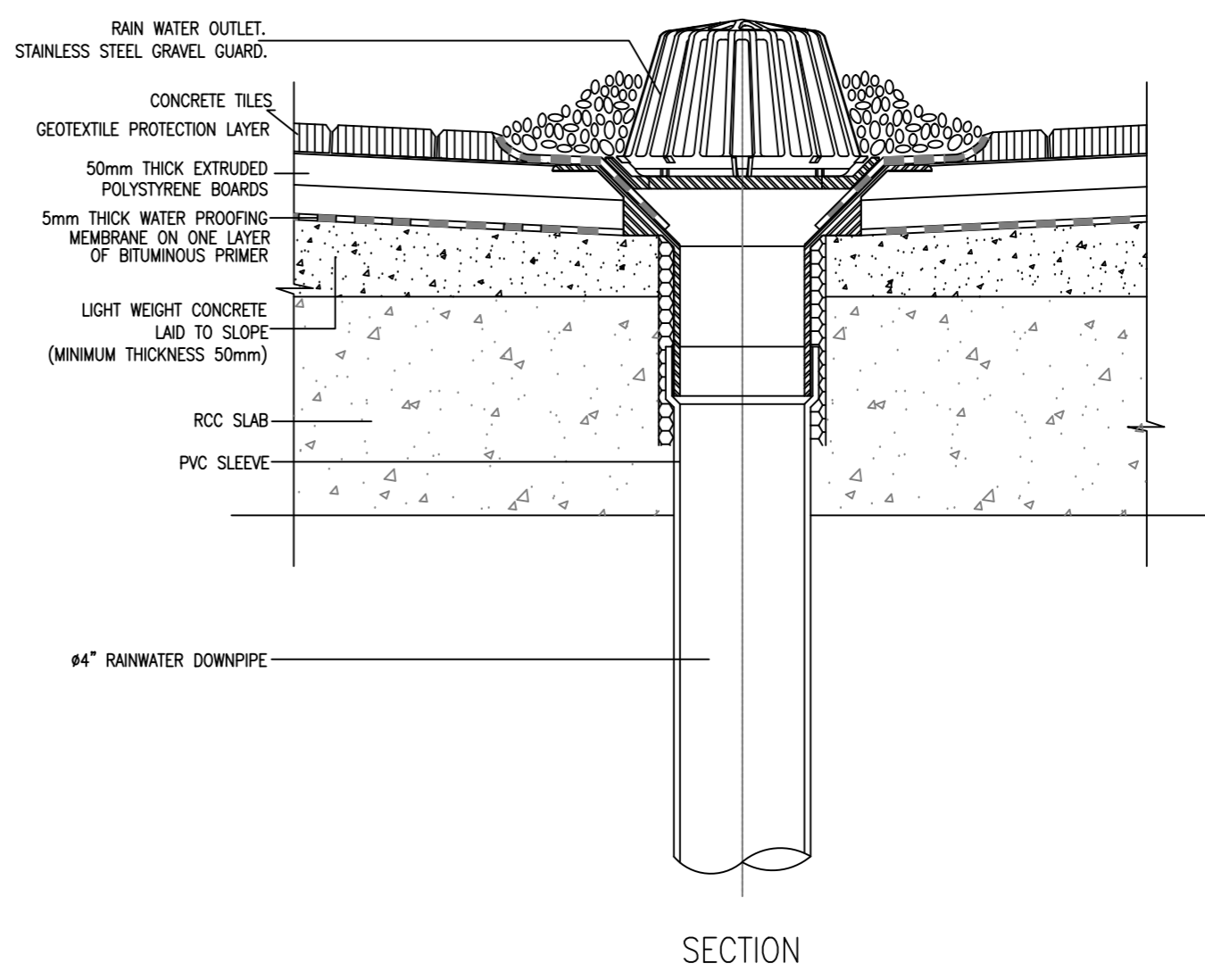
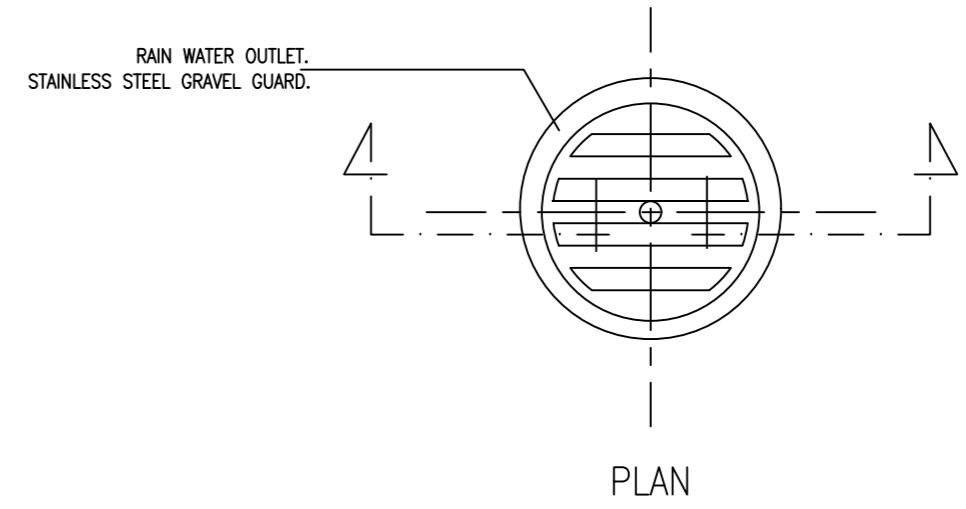
CLOUD 9
 10 DELAWARE AVE
 CAMDEN NJ 08102

ISSUE	DATE
PERMIT SUBMISSION	06.09.25
ZONING REV-1	06.11.25

PROPOSED
 SITE PLAN
 AND ZONING
 INFORMATION



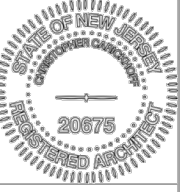
○ DRAINAGE PIPING SCHEMATIC
SCALE 1/16" = 1'-0"



○ SFD DETAIL - CATCH BASIN
NTS



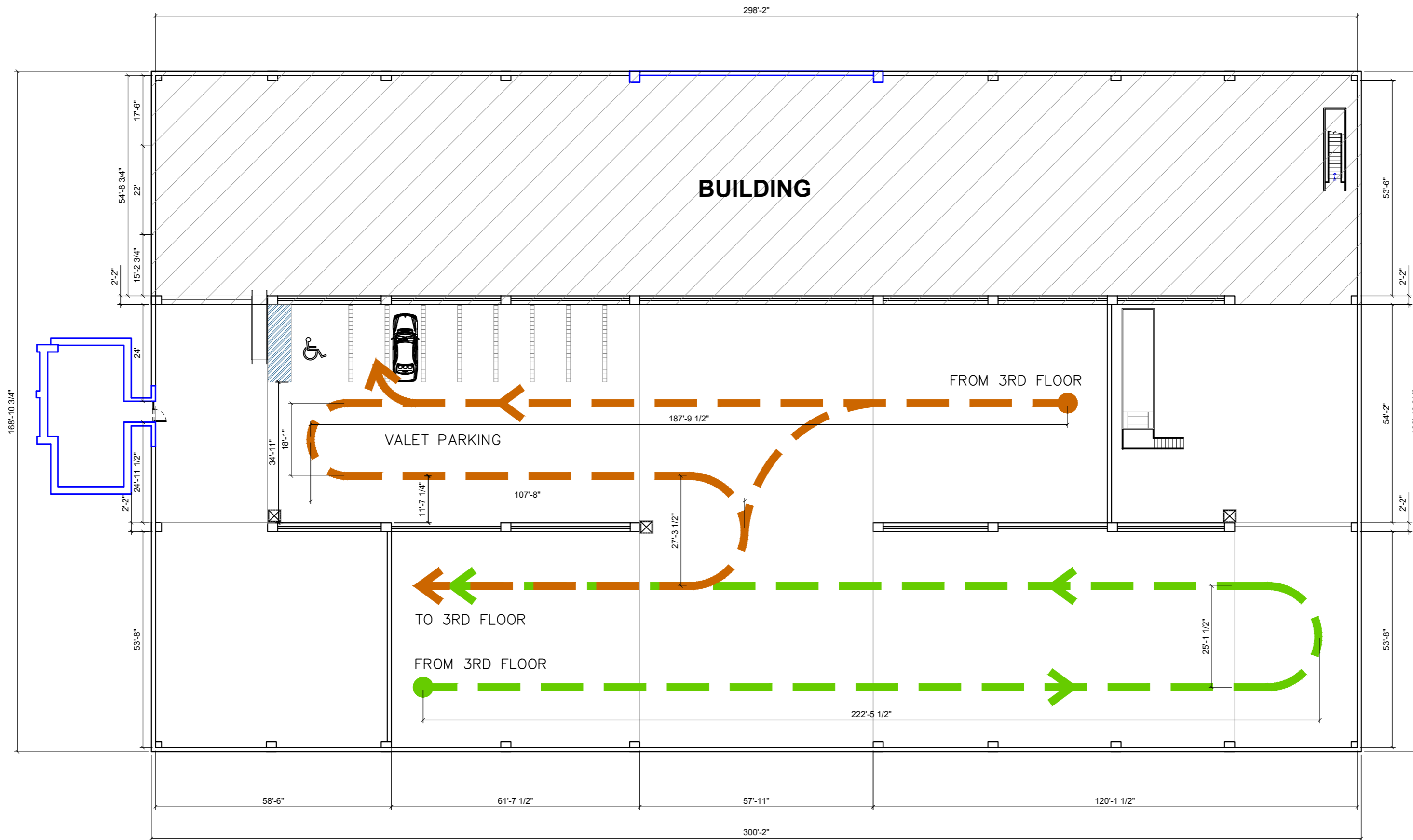
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ARCHITECTURE, LLC



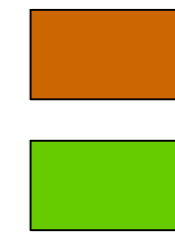
CLOUD 9
10 DELAWARE AVE
CAMDEN NJ 08102

DATE	06.09.25
06.11.25	
ISSUE	PERMIT SUBMISSION
	ZONING REV-1

PROPOSED
SITE PLAN
AND ZONING
INFORMATION



○ VALET DROP OFF CIRCULATION PLAN
 SCALE 1/16" = 1'-0"



VALET PATH

FOOD TRUCK PATH



STUDIO C
 ARCHITECTURE, LLC

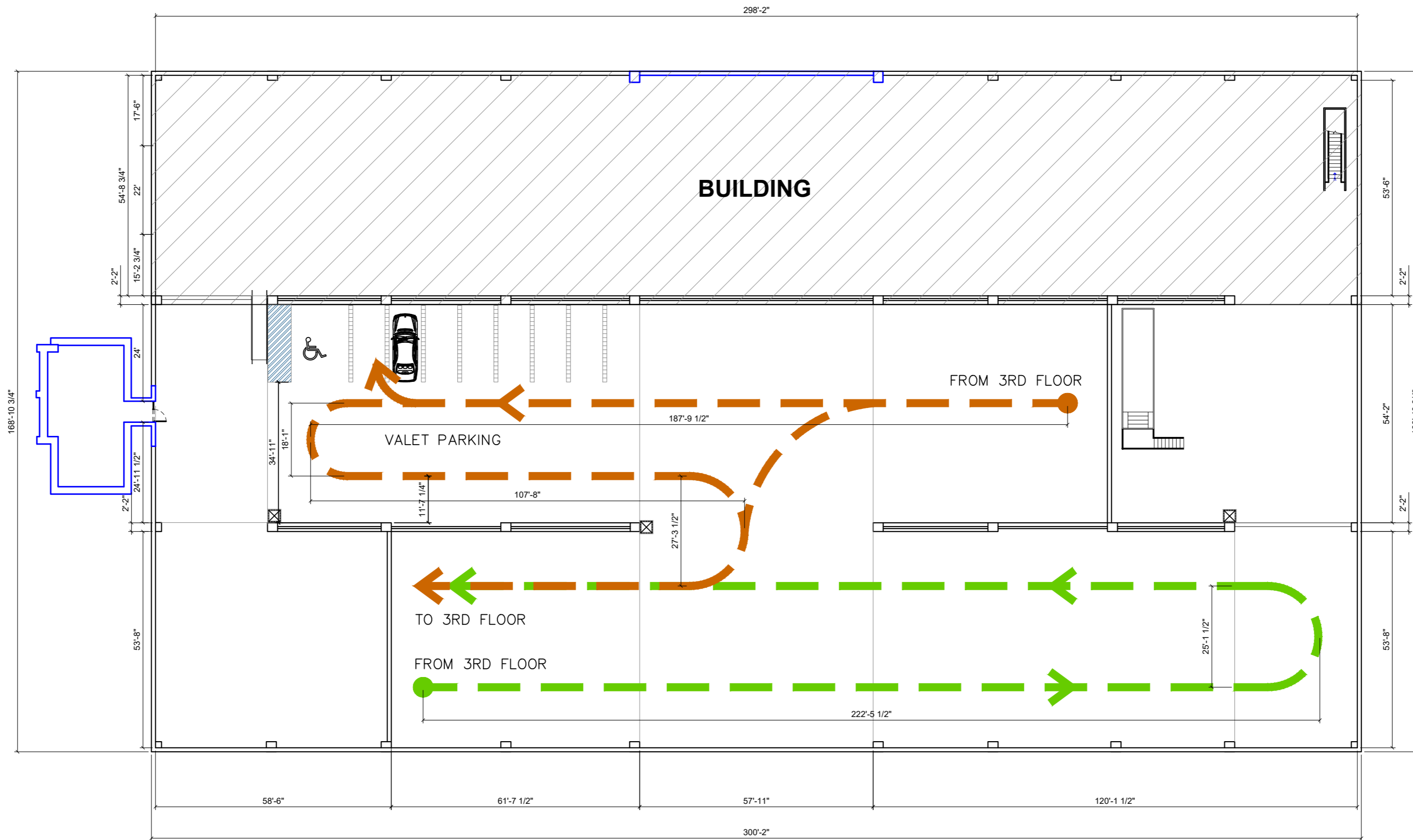


CLOUD 9
 10 DELAWARE AVE
 CAMDEN NJ 08102

DATE
 06.09.25
 06.11.25

ISSUE
 PERMIT SUBMISSION
 ZONING REV-1

PROPOSED
 SITE PLAN
 AND ZONING
 INFORMATION



○ VALET DROP OFF CIRCULATION PLAN
 SCALE 1/16" = 1'-0"

- VALET PATH
- FOOD TRUCK PATH



STUDIO C
 ARCHITECTURE, LLC



CLOUD 9
 10 DELAWARE AVE
 CAMDEN NJ 08102

DATE	ISSUE
06.09.25	PERMIT SUBMISSION
06.11.25	ZONING REV-1

PROPOSED
 SITE PLAN
 AND ZONING
 INFORMATION