



**Michael J. Lario, Jr.**  
Partner

mlario@ndglegal.com

4030 Ocean Heights Avenue  
Egg Harbor Township, NJ 08234

t 609 927 1177

f 609 926 9721

June 21, 2024

**VIA E-MAIL: [EVDAVIS@CI.CAMDEN.NJ.US](mailto:EVDAVIS@CI.CAMDEN.NJ.US)  
& UPS GROUND**

Evita Muhammad, Board Secretary  
The City of Camden  
Melvin Primas City Hall  
520 Market Street  
Camden, NJ 08101

**RE: Application of Cannabista, LLC  
2035 Admiral Wilson Boulevard  
Block 1221, Lot 3  
City of Camden, Camden County, New Jersey  
Our File No. 13171-001**

Dear Ms. Muhammad:

As you are aware, this firm represents Cannabista, LLC (the "Applicant") in connection with this pending application for use variance relief pursuant to N.J.S.A. 40:55D-70d(1) to permit the operation of two (2) principal uses on the same property. The purpose of this submission is to amend the application currently on file to include a request for preliminary and final major site plan approval to permit the construct, establish, and maintain a new three-story, multi-tenant building at the above site in addition to the continued operation of an existing 800 sq. ft. takeout restaurant.

Specifically, the Applicant now seeks both use variance relief to permit the two (2) principal uses on the same lot and preliminary and final major site plan approval to permit the construction of the proposed three-story retail building. Each floor of the proposed three-story structure will be approximately 2,747 sq. ft. The first story of the structure will be utilized as an adult-use retail cannabis dispensary. This use is expressly permitted within the C-4 Commercial Zoning District in which the property is located.

In support of this application, enclosed herein please find the following:

1. Fifteen (15) copies of the City of Camden Site Plan Application Form;
2. Fifteen (15) copies of the City of Camden Site Plan Application Checklist;
3. Fifteen (15) copies of Architectural Plans prepared by Architectural Design Studios dated May 8, 2024;
4. Fifteen (15) copies of Preliminary and Final Major Site Plan prepared by Patterson Surveying and Engineering LLC dated June 3, 2024.

Please notify me if any additional application fees or escrow deposits are required in connection with this proposed amendment to the existing "as filed" application.

Please do not hesitate to contact me should you require any additional documents or information in order to deem this application complete. Once deemed complete, please notify me as to the date that the Zoning Board will consider this application and our firm will, of course, provide the required public notice in advance of that date.

Thank you, as always, for your kind attention and usual courtesies.

Very truly yours,

NEHMAD DAVIS & GOLDSTEIN, P.C.

By:   
MICHAEL J. LARIO, JR.

MJL/tlc

- c. Dr. Edward C. Williams, PP, AICP, CSI, AHP (via e-mail: [Development@ci.camden.nj.us](mailto:Development@ci.camden.nj.us))  
Kyle F. Eingorn, Esquire, Board Attorney (via e-mail: [keingorn@dbblegal.com](mailto:keingorn@dbblegal.com))  
Mr. Jose Brito-Bueno (via e-mail: [wecarehomecare@live.com](mailto:wecarehomecare@live.com))  
Don Vid, AI, AIA via e-mail: [vidalarchitect@gmail.com](mailto:vidalarchitect@gmail.com))  
Daniel J. Patterson, PE&LS (via e-mail: [Dan@Pattersonse.com](mailto:Dan@Pattersonse.com))  
Mark A. Remsa, PP, LLA, AICP, ASLA (via e-mail: [maremsa@aol.com](mailto:maremsa@aol.com))

**PURSUANT TO THE CODE OF THE CITY OF CAMDEN  
(ARTICLE I, SECTION 233-4)**

**SITE PLAN APPLICATION**

(Please Answer ALL Questions)

**APPLICANT** Cannabista, LLC

**ADDRESS** PO BOX 1308, Camden, NJ 08105

**TELEPHONE#** 609-927-1177

**FAX#** \_\_\_\_\_

**OWNER OF PROPERTY** Brito Investments, LLC  
(if other than applicant)

**ADDRESS** PO BOX 1308, Camden, NJ 08105

**TELEPHONE** \_\_\_\_\_

**IF APPLICANT IS INCORPORATE OR A PARTNERSHIP, LEGAL REPRESENTATION IS REQUIRED.  
PLEASE PROVIDE THE FOLLOWING:**

**ATTORNEY'S NAME** Michael J. Lario, Jr., Esq. - Nehmad Davis Goldstein, PC

**ADDRESS** 4030 Ocean Heights Ave., Egg Harbor Township, NJ 08234

**TELEPHONE#** 609-927-1177

**FAX#** \_\_\_\_\_

**EMAIL ADDRESS** mlario@ndglegal.com

**PLEASE PROVIDE THE FOLLOWING INFORMATION BELOW:**

**ENGINEER AND/OR ARCHITECT NAME** Daniel J. Patterson, PE - Patterson Surveying & Engineering, LLC

**ADDRESS** 133 Jackson Road, Suite C, Medford, NJ 08055

**TELEPHONE#** 732-501-7192

**FAX#** \_\_\_\_\_

**ADDRESS OF DEVELOPMENT** 2035 Admiral Wilson Blvd.

**BLOCK NO.(S)** 1221

**LOT NO.(S)** 3

**ZONE** C-4 Commercial

**PRESENT USE(S)** Takeout Restaurant with Rear Storage Building

**DESCRIBE PROPOSED USES (S):**  
(attach separate sheet if needed)

Applicant proposes to establish a 3 story commercial building with a cannabis dispensary on the 1st floor and

commercial uses on floors 2 and 3. See Attached Cover Letter for a complete description of the proposed use of the site.

SQUARE FOOTAGE OF PROPOSED USE Approx. 3,475 sq. ft.

LOT AREA (Measured in Square Footage) 23,443 sq. ft.

BUILDING AREA OF GROUND FLOOR Approx. 3,475 sq. ft.

BUILDING AREA (Total Sq. Ft. – all floors) Approx. 10,425 sq. ft.

NO. OF PROPOSED PARKING SPACES	27 Parking Spaces (3 ADA spaces)
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NO. OF EXISTING PARKING SPACES	N/A
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AREA IN ACRES OF ANY ADDITION ADJOINING LAND OWNED BY APPLICANT

N/A

DOES THIS APPLICANT CONSTITUTE:

(Please check appropriate box)

☒ New Application

☒ Preliminary

☒ Preliminary and Final

\_\_\_\_ Revision or Resubmission of a prior application

\*IS THIS APPLICATION FOR A VARIANCE TO CONSTRUCT A MULTI-DWELLING OF 25 OR MORE FAMILY DWELLING UNITS? (Please check)    YES \_\_\_\_\_    NO ☒

\*IS THIS APPLICATION INTENDED FOR COMMERCIAL PURPOSE(S)?

(Please check) YES ☒ NO ☐

IF THE ANSWER TO (A) OR (B) IS "YES", AND/OR IF APPLICANT IS A CORPORATION OR PARTNERSHIP, PLEASE PROVIDE THE FOLLOWING:

1. Name and address of all stockholders or individual partners owning at least 10% of its stock, of any class, or at least 10% of the interest in the partnership, as the case may be. (Additional sheet may be attached if needed).

NAME \_\_\_\_\_

ADDRESS

See attached Corporate Disclosure.

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**DOES THIS APPLICATION INCLUDE:**

1. AN ADDITION OF 1,000 SQ. FT. OR MORE TO AN EXISTING STRUCTURE?  
(Please circle)      YES      NO ☒
2. AN ADDITION OF 1,000 SQ. FT. OR MORE OF PAVING AREA FOR OFF-STREET PARKING?  
(Please circle)      YES      NO ☒

**THIS APPLICANT CERTIFIES THAT THE ABOVE INFORMATION HAS BEEN COMPLETED TO THE BEST OF HIS/HER KNOWLEDGE.**

DATE

**Jose M Brito**

APPLICANT'S NAME (PLEASE PRINT)

APPLICANT'S SIGNATURE

ESCROW DEPOSIT AGREEMENT BETWEEN THE CITY OF CAMDEN AND

DEPOSITOR Cannabista, LLC

Address PO Box 1308

Camden, NJ 08105

Telephone No. \_\_\_\_\_

Check No. \_\_\_\_\_

Depositor herewith deposits the sum of \_\_\_\_\_  
dollars (\$) with the City of Camden in accordance with an subject to the provisions of the City of Camden  
Ordinance No. MC-2304, being incorporated by reference and made a part hereof, and agrees to the following:

1. Depositor's payment of said deposit is made in connection with an application for:  
Preliminary and Final Major Site Plan Approval and Use Variance Relief.


At (provide address with block and lot number): 2035 Admiral Wilson Blvd. (Block 1221, Lot 3)

2. The Treasure of the City of Camden shall be authorized to disburse to the City Engineer from the funds deposited, those fees required to be paid for the technical and professional review by the Zoning Board of Adjustment and/or Planning Board pursuant to the terms of Ordinance MC-2304.
3. All fees shall be disbursed upon reconciliation of the Engineer & Insurance Escrow Accounts by Ordinance MC-2304.
4. If there are insufficient funds in the depositor's escrow account to pay all pending bill attribute to the aforementioned project, depositor shall be notified by the appropriate agency and requested to make an additional deposit into the escrow account.
5. Depositor understands that if he/she fails to make any additional deposit required, depositor's application shall be denied.
6. Any additional deposits shall be made to the Treasure, City of Camden, by way of the Division of Planning, in accordance with the terms set forth herein unless otherwise agreed to by the depositor and the approving agency.
7. The City of Camden shall not be required to pay interest on any sums held pursuant to this agreement.

IN WITNESS WHEREOF the undersigned hereby accepts the terms and conditions of this agreement.

05/29/2024

DATE:

  
Applicant or Authorized Signature

**The following checklist pertains to PLOT PLANS:**

**Check if Completed**

**For Office Use Only**

- |  |       |
|--|-------|
| <u>  X  </u> 1. Name and Address of owner and applicant  | _____ |
| <u>  X  </u> 2. Name, signature, licenses #, seal and address of engineer, land surveyor, architect, professional planner, and/or landscape architect (as applicable).       | _____ |
| <u>  X  </u> 3. Title block denoting type of application, tax map sheet, county municipality, block and lot, and street address.   | _____ |
| <u>  X  </u> 4. Key map not less the 1" – 1000" showing location of tract to surrounding street, municipal boundaries, etc. within 500'.                                     | _____ |
| <u>  X  </u> 5. Schedule for required and proposed zone requirements for Lot area, frontage, setbacks, imperious coverage, parking, etc.                                     | _____ |
| <u>  X  </u> 6. North arrow to top of sheet, scale and graphic scale.  | _____ |
| <u>  X  </u> 7. Signature block for board chair, secretary, zoning officer/ administrative officer and engineer.   | _____ |
| <u>  X  </u> 8. Date of property survey  | _____ |
| <u>  X  </u> 9. Acreage of tract to nearest tenth  | _____ |
| <u>  X  </u> 10. Date of original and all revisions  | _____ |
| <u>  X  </u> 11. Size and location of existing or proposed structures and their dimension of setbacks  | _____ |
| <u>  X  </u> 12. Location and dimensions of any existing or proposed streets   | _____ |
| <u>  X  </u> 13. All proposed lot lines and area of lots in square feet  | _____ |
| <u>  X  </u> 14. Copy of and plan delineation of any existing or proposed deed restriction   | _____ |
| <u>  X  </u> 15. Any existing or proposed easement or land reserved or dedicated for public use  | _____ |
| <u>  X  </u> 16. Existing streets, other right-of-way or easements; water courses, wetlands, soils floodplains, or other environmentally Sensitive area within 200' of tract | _____ |
| <u>  X  </u> 17. Topographical features of subject property from USGS 7.5 minute maps  | _____ |

**CHECK IF COMPLETED****FOR OFFICE USE ONLY**

- |  |       |
|--|-------|
| <u>X</u> 18. Boundary, limits, nature and extent of wooded areas,<br>Specimen trees and other significant physical features  | _____ |
| <u>X</u> 19. Drainage calculations   | _____ |
| <u>X</u> 20. Proposed utilities: sanitary sewer, water, storm water<br>management, telephone, cable TV and electric  | _____ |
| <u>X</u> 21. Soil erosion and sediment control plan if more than 5000 sq. ft.  | _____ |
| <u>X</u> 22. Spot and finished elevations at all property corners, corners of<br>Structures, existing or proposed first floor elevations   | _____ |
| <u>X</u> 23. Construction details road and paving cross-sections and profiles<br>if no profiles needed   | _____ |
| <u>X</u> 24. Lighting plan and details   | _____ |
| <u>X</u> 25. Landscape plan and details  | _____ |
| <u>X</u> 26. Site identification signs, traffic control signs, and directional signs   | _____ |
| <u>X</u> 27. Sight triangles   | _____ |
| <u>X</u> 28. Vehicular and pedestrian circulation patterns   | _____ |
| <u>X</u> 29. Parking plan indicating spaces, size and type aisle width internal<br>Collectors, curb cuts, drives and driveways and all ingress and<br>Egress areas with dimensions | _____ |
| <u>X</u> 30. Preliminary architectural plan and elevations   | _____ |
| <u>X</u> 31. Environmental impact report, parcels 2 acres or larger  | _____ |
| <u>X</u> 32. Plan paper size should be 24 by 36  | _____ |

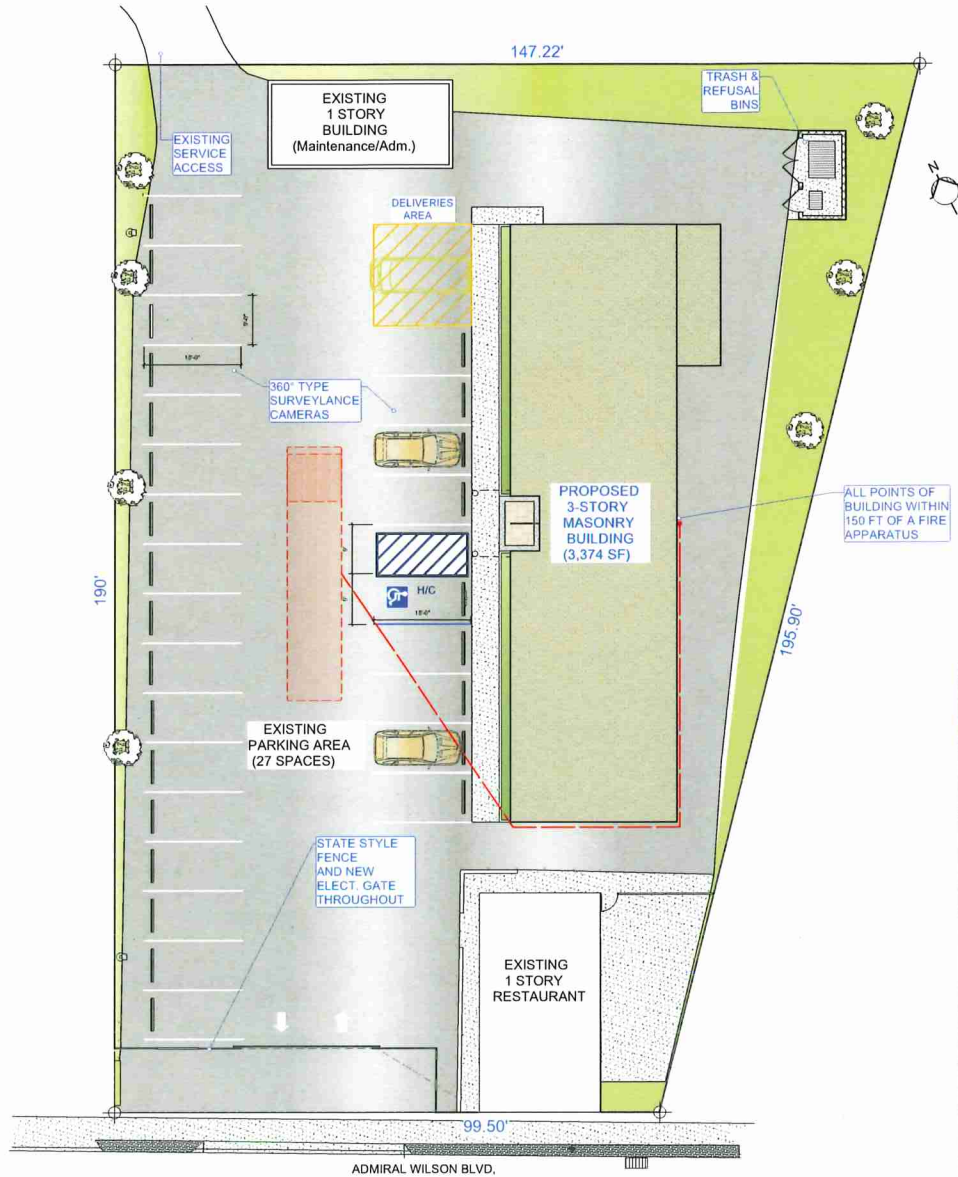




# RECREATIONAL CANNABIS STORE

2035 Admiral Wilson Boulevard  
(US ROUTE 30)  
City of Camden, Camden County  
New Jersey

## BUILDING ADDITION ZONING PLAN



### ZONING INFORMATION

BLOCK: 1221 LOT: 3

ZONING: Commercial (C-4)

#### SCOPE OF WORK

The Owner proposes a building addition footprint on an existing paved parking lot to locate a Retail Store, and all associated improvements to existing property access, parking facilities, and property fencing.

SITE COVERAGE: Lot 3.....23,438.69 SF (99.50' x 190') \*Irregular shape (0.54 Acre)

BUILDING ADDITION SIZE (Footprint): 3,374 SF (108'-3" x 34'-4")

#### BUILDING COVERAGE

	Existing/Proposed
FIRST FLOOR (Proposed Cannabis Retail Store)	3,000 SF
SECOND FLOOR (Leasing Space)	3,192 SF
THIRD FLOOR (Leasing Space)	3,192 SF

-FIRST FLOOR (Existing Take-Out Restaurant)	779 SF
-FIRST FLOOR (Existing Vacant Rear Storage Building)	476 SF

RETAIL STORE BUILDING HEIGHT: 1 STORY BUILDING (12'-0" Ft.)

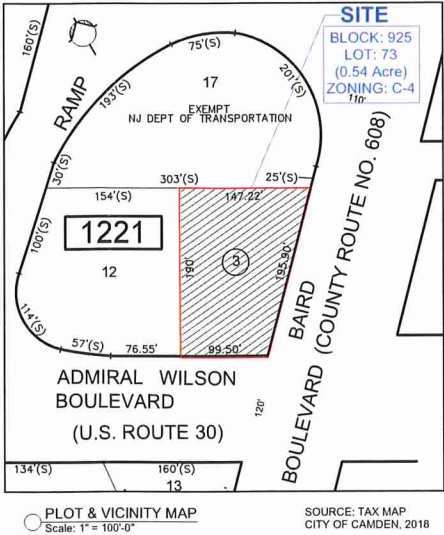
#### OFF-STREET PARKING REQUIREMENTS (EXISTING/PROPOSED)

a. Existing Take-Out Restaurant.....	5 Spaces
b. Retail Building Addition (3,000 SF Gross Space).....	15 Spaces
c. Office Space (2nd & 3rd Floors - 1,384 SF Gross Space).....	5 Spaces
d. Storage Space (2nd & 3rd Floors - 5,000 SF Gross Space).....	2 Spaces
Total.....	27 Spaces

\*Off-Street Parking Existing/Proposed.....27 SPACES



EXISTING EXTERIOR VIEW (ADMIRAL WILSON BLVD.)



Design Firm:  
**El Donaldo F. Vid, AI**  
Architect, AIA  
c/o PO Box 1571  
Camden, New Jersey  
08105  
856-278-0057  
vidalArchitect@gmail.com

Prepared for:

Project Title:  
**CANNABISTA BUILDING ADDITION  
ZONING PLAN  
2035 Admiral Wilson Blvd.  
Camden, New Jersey**

Revision No. & Day	Description

Sheet Title:  
**PLOT PLAN  
& ZONING INFORMATION**

Scale: As Noted

Drawing No: ZP-1  
1 of 3 Total Sheets

Drawing Day: 8th of May, 2024

Project ID: EDV-C-98-23

CAD File Name: CAD-EDV-98-23

Drawn by:

Check by:

EDFV

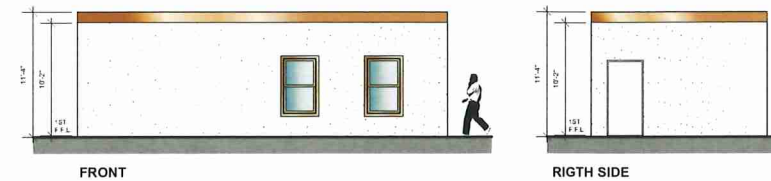
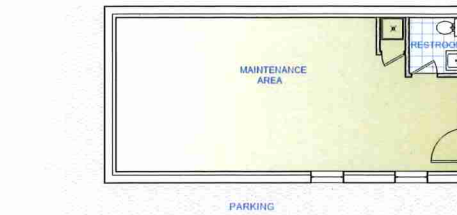
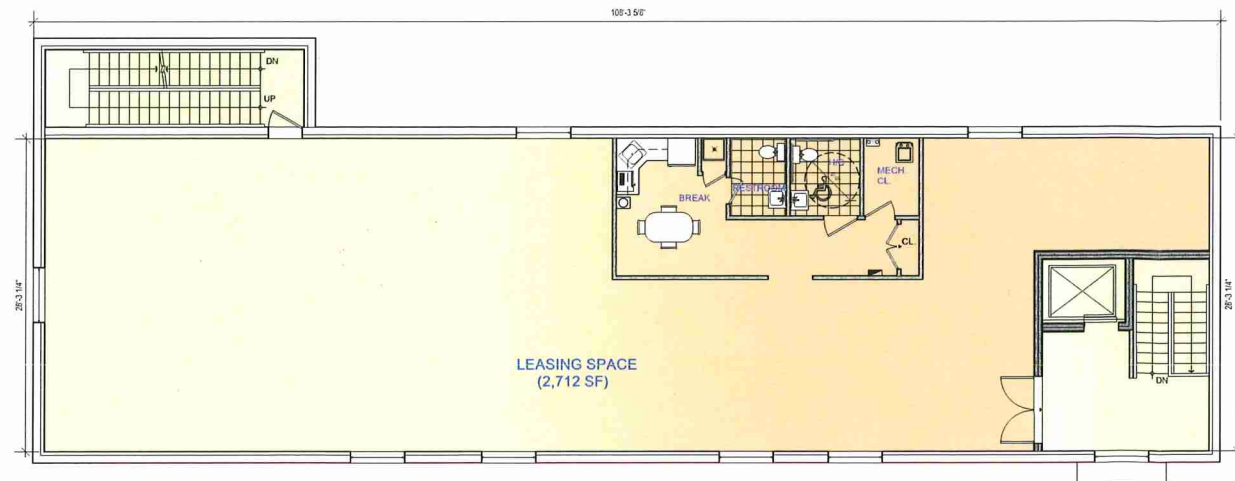
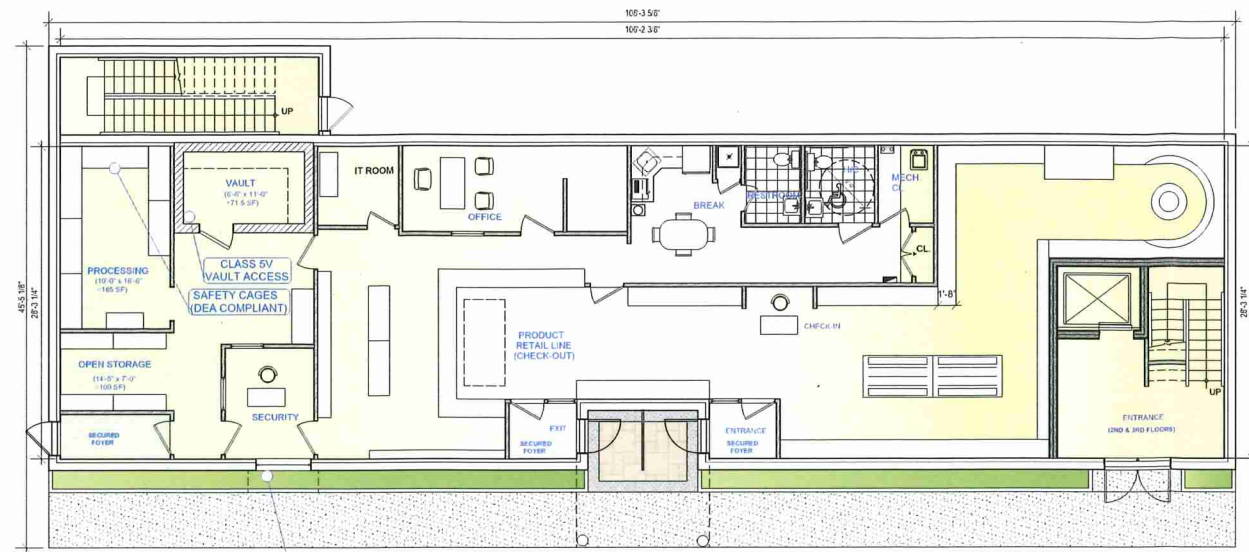
ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE ADVISED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

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NJ Lic.: AI 14152

AREA REGULATIONS FOR THE C-4 (COMMERCIAL - Non Residential)				
DESCRIPTION	REQUIRED	PROVIDED	STATUS	REMARKS
MIN. LOT AREA	40,000 SF	23,438.69 SF	N	Pre-Existing
MIN. LOT WIDTH	200 FT	99.50 SF	N	Pre-Existing
MIN. FRONT SETBACK	25 FT	0 FT	N	Pre-Existing
MIN. ONE SIDE SETBACK	20 FT	10.69 FT	N	Pre-Existing
MIN. AGGR. WIDTH SID. YD.	50 FT	38.42 FT	N	Pre-Existing
MIN. REAR SETBACK	30 FT	2.84 FT	N	Pre-Existing
MAX. BUILDING HEIGHT	3-STO. 45 FT	16 FT (1-STO.)	C	Existing
MAX. BUILDING COVER	60 %	21.33 % (5,000 SF)	C	Extg. & Proposed
MAX. IMPERV. COVER	80 %	87 % (20,449.69 SF)	N	Pre-Existing





Design Firm:  
El Donaldo F. Vid, AI  
Architect, AIA  
c/o PO Box 1571  
Camden, New Jersey  
[08105]  
856-278-0057  
vidalArchitect@gmail.com

Prepared for:  
  
Project Title:  
CANNABISTA BUILDING  
BUILDING ADDITION  
ZONING PLAN  
2035 Admiral Wilson Blvd.  
Camden, New Jersey

Revision No. & Day	Description

Sheet Title:  
FLOOR PLANS

Scale: As Noted  
Drawing No: ZP-2  
2 of 3 Total Sheets

Drawing Day: 8th of May, 2024

Project ID: EDV-C-98-23

CAD File Name: CAD-EDV-98-23

Drawn by:

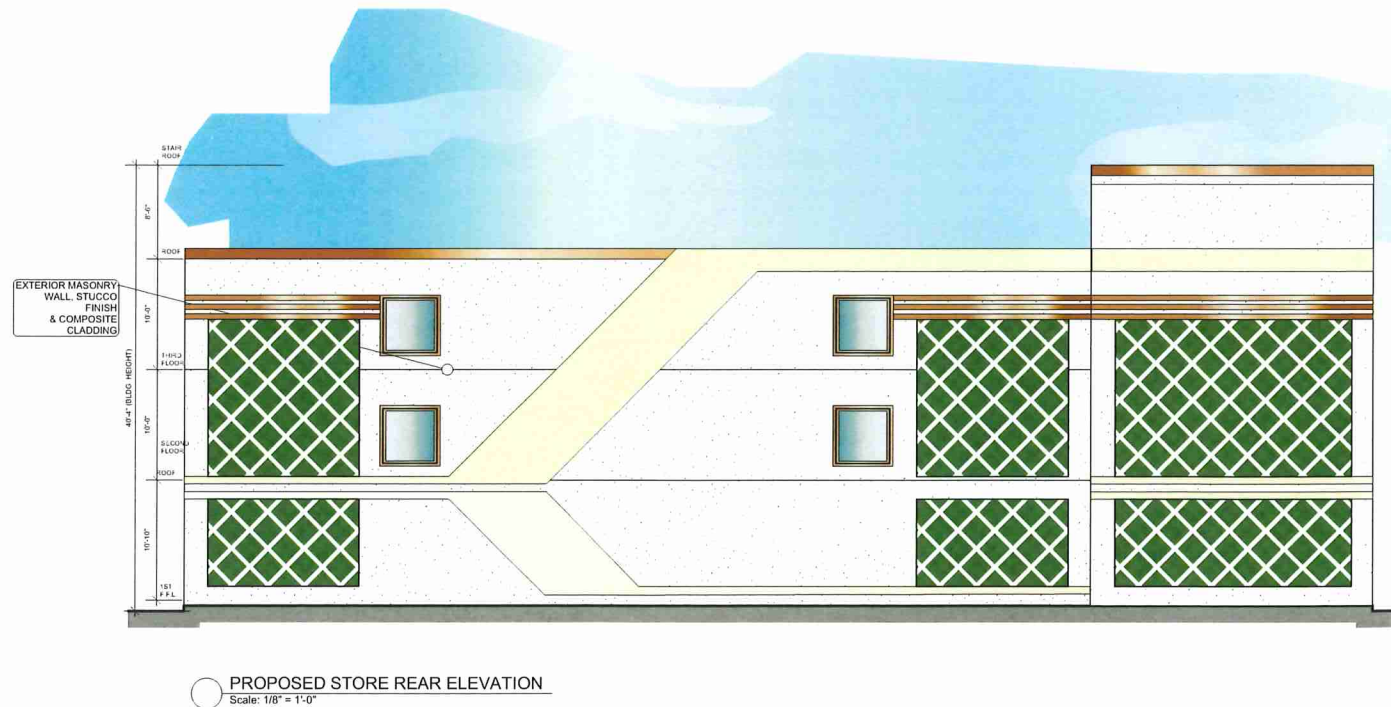
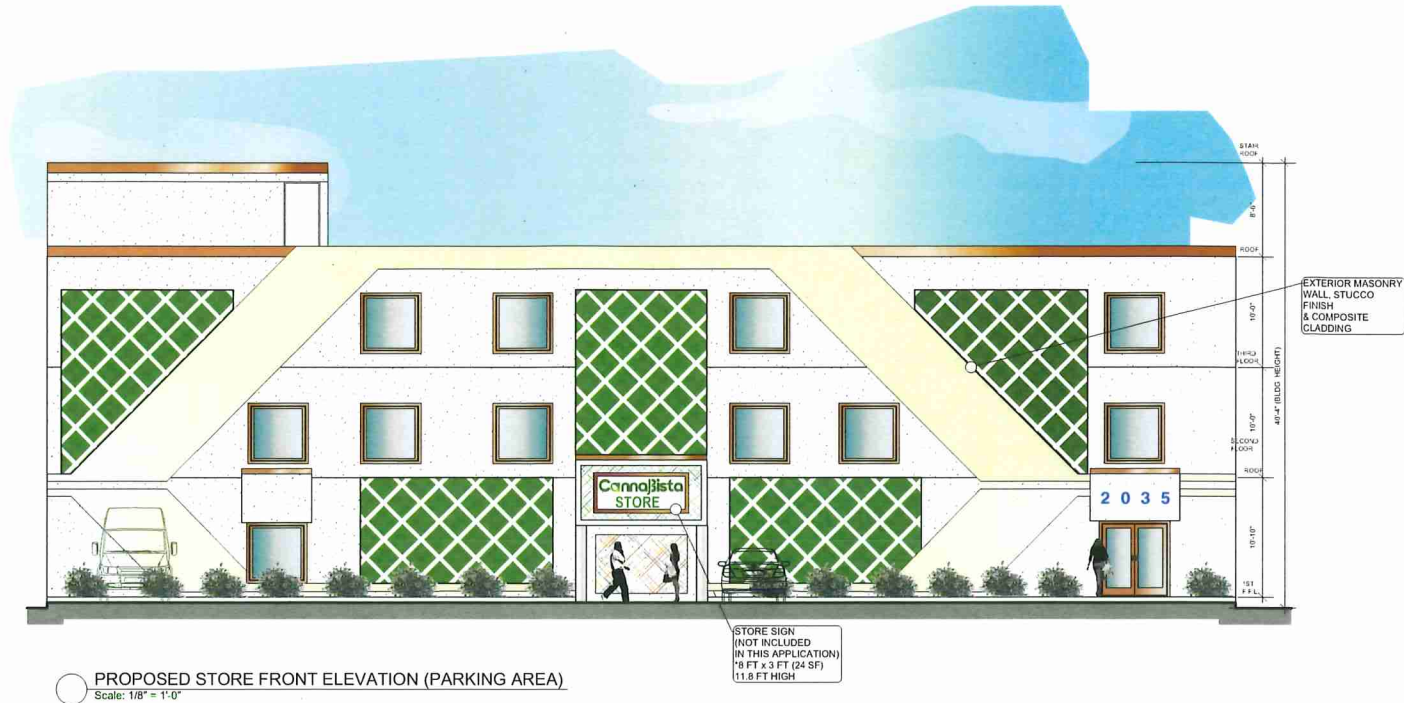
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Architect, AIA  
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vidalArchitect@gmail.com

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Project Title:  
**CANNABISTA BUILDING ADDITION**  
ZONING PLAN  
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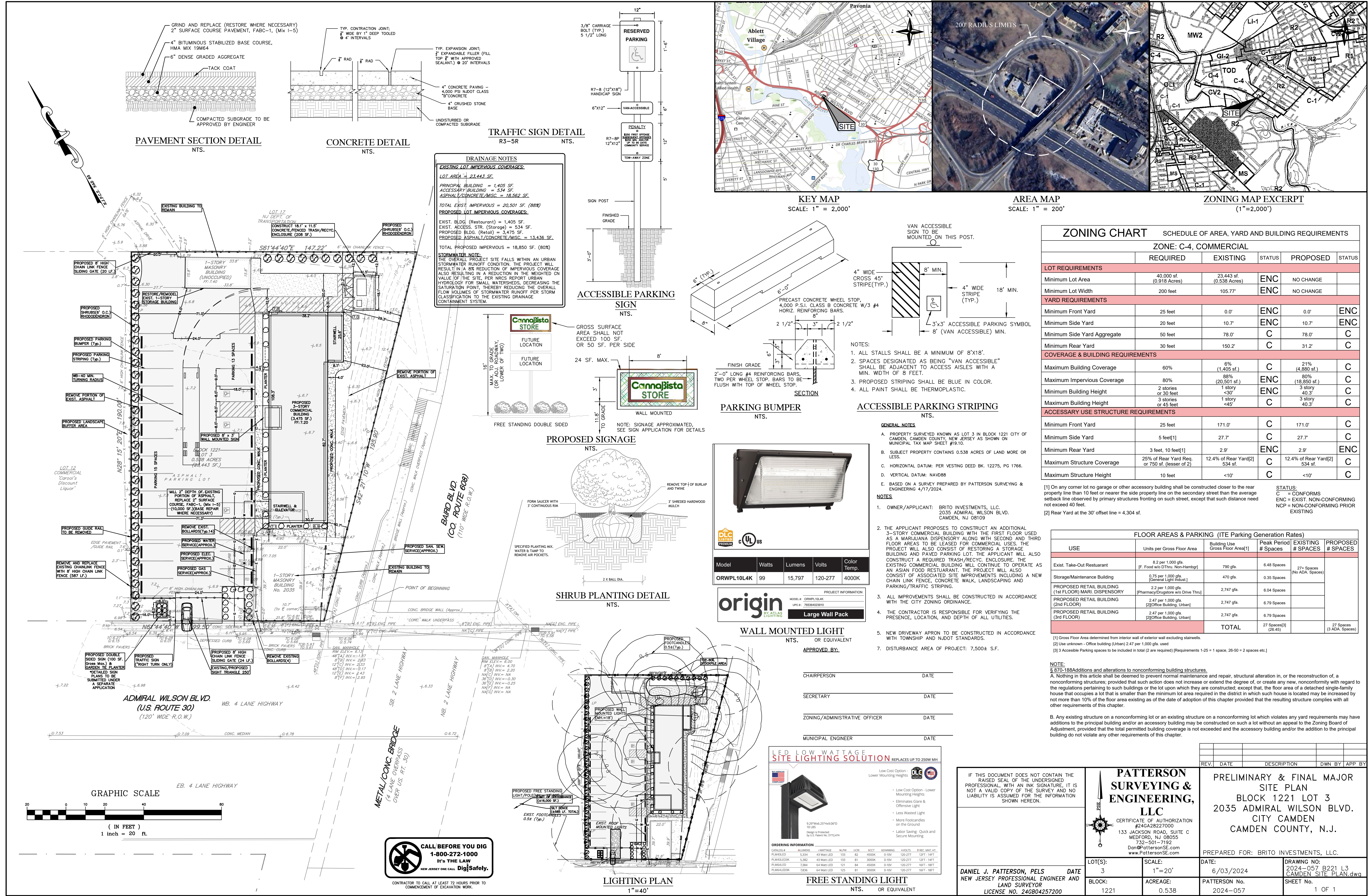
Revision No. & Day	Description
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Scale: As Noted	
Drawing No:	ZP-3 3 of 3 Total Sheets
Drawing Day:	8th of May, 2024
Project ID:	EDV-C-98-23
CAD File Name:	CAD-EDV-98-23
Drawn by:	
Check by:	EDFV

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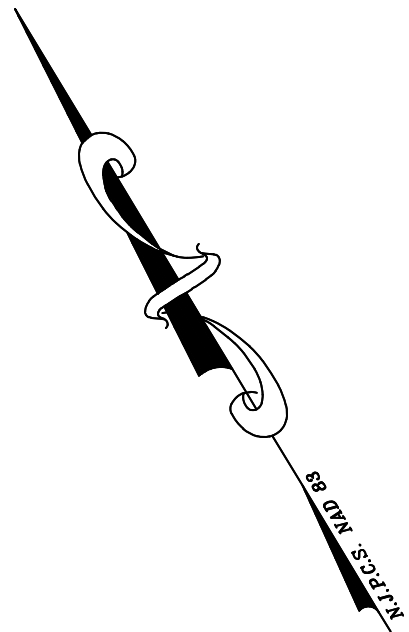
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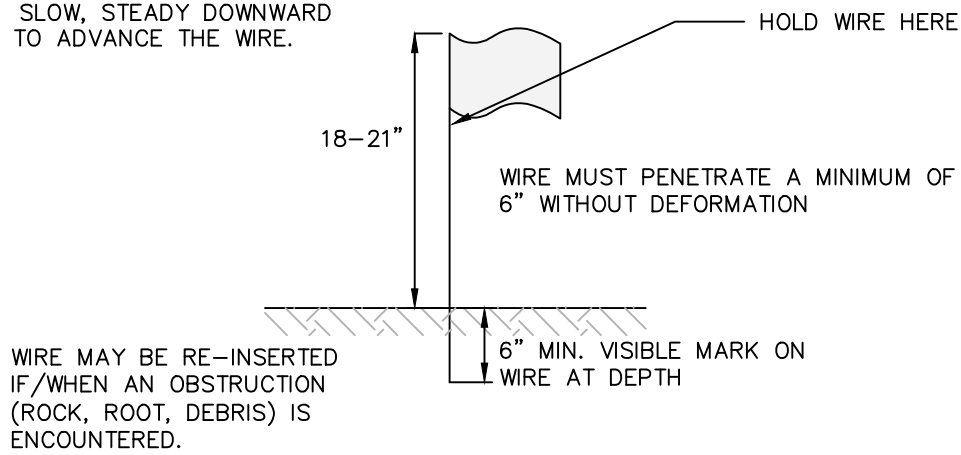




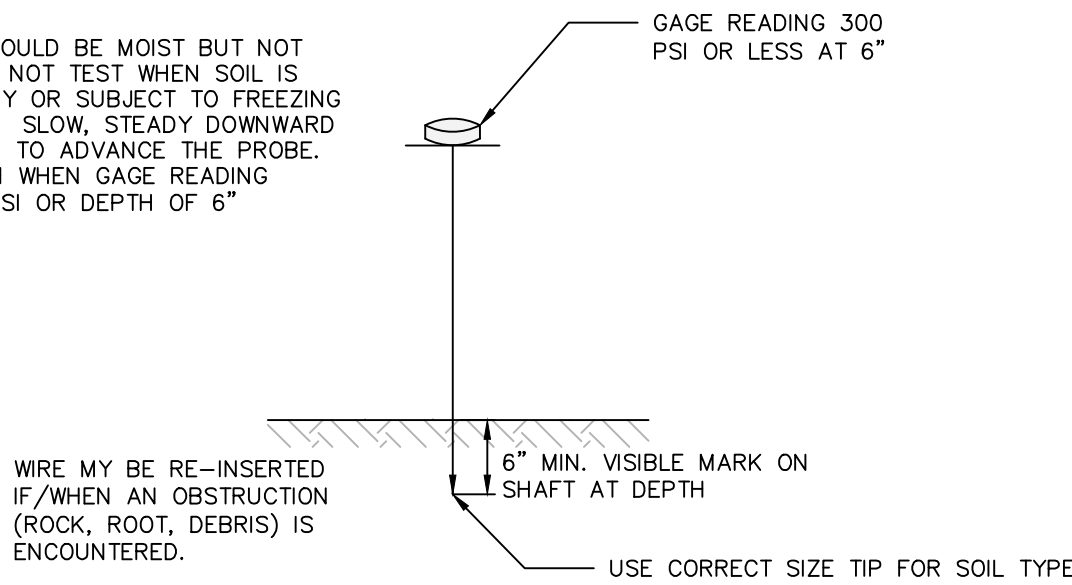
### SOILS MAP (NTS.)

Camden County, New Jersey (NJ007)  
Map Unit Symbol: UR  
Map Unit Name: URBAN LAND

NOTE: SOIL SHOULD BE MOIST BUT NOT SATURATED. DO NOT TEST WHEN SOIL IS EXCESSIVELY DRY OR SUBJECT TO FREEZING TEMPERATURES. SLOW, STEADY DOWNWARD PRESSURE USED TO ADVANCE THE WIRE.



NOTE: SOIL SHOULD BE MOIST BUT NOT SATURATED. DO NOT TEST WHEN SOIL IS EXCESSIVELY DRY OR SUBJECT TO FREEZING TEMPERATURES. SLOW, STEADY DOWNWARD PRESSURE USED TO ADVANCE THE PROBE. MEASURE DEPTH WHEN GAGE READING REACHES 300 PSI OR DEPTH OF 6\"/>



#### SOIL COMPACTION NOTES:

1. IMMEDIATELY PRIOR TO TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN ACCORDANCE WITH THE STANDARD FOR LAND GRADING, IF APPLICABLE. SEE DETAILS.
2. NJSA 4:24-39 ET SEQ. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE THE COMPLETION OF A SOIL COMPACTION MITIGATION VERIFICATION FORM AND CONFIRMATION BY THE DISTRICT INSPECTOR THAT THE COMPACTION MITIGATION REQUIREMENTS IN THE STANDARD FOR LAND GRADING HAVE BEEN SUFFICIENTLY ADDRESSED.

#### SOIL COMPACTION TESTING REQUIREMENTS:

1. SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
2. AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE CERTIFIED SOIL EROSION CONTROL PLAN.
3. COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO MARK LOCATIONS OF TESTS, AND ATTACHED TO THE COMPACTION REMEDIATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
4. IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN EXCLUDING EXEMPT AREAS, OR (2) PERFORM ADDITIONAL, MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

#### COMPACTION TESTING METHODS:

1. PROBING WIRE TEST (SEE DETAIL)
2. HAND-HELD PENETROMETER TEST (SEE DETAIL)
3. TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
4. NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
5. NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.
6. SOIL COMPACTION TESTING IS NOT REQUIRED IF/WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE (6\"/>

#### CONSTRUCTION SEQUENCE

- |   |            |
|---|------------|
| 1. INSTALL SILT FENCE AND CONSTRUCTION ENTRANCE.  | WEEK 1     |
| 2. STRIP AND STOCKPILE TOPSOIL, ROUGH GRADE SITE.   | WEEK 1     |
| 3. BEGIN BUILDING AND STRUCTURE CONSTRUCTION.   | WEEK 2-8   |
| 4. INSTALL ALL UTILITIES.   | WEEK 7-8   |
| 5. INSTALL ASPHALT PAVING AND ALL WALKWAYS  | WEEK 9     |
| 6. FINE GRADE SITE, RE-SPREAD TOPSOIL. APPLY PERMANENT SEEDING TO ALL DISTURBED AREAS.    | WEEK 9     |
| 7. COMPLETE BUILDING CONSTRUCTION.  | WEEK 10-11 |
| 8. AFTER SITE IS STABILIZED, REMOVE REMAINING SOIL EROSION AND SEDIMENT CONTROL MEASURES. | WEEK 11-12 |

#### PROCEDURES FOR SOIL COMPACTION MITIGATION

1. PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
2. RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6\"/>

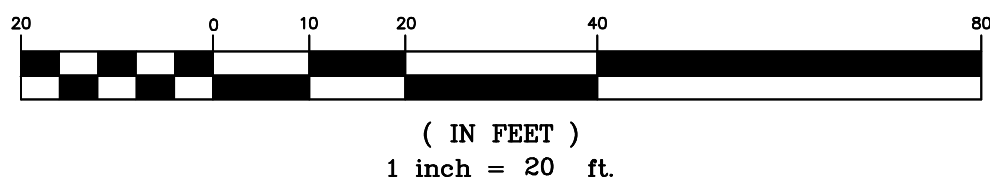
#### TOPSOIL & SOIL DE-COMPACTION REQUIREMENTS:

1. A MINIMUM OF 5 INCHES OF TOPSOIL IS REQUIRED ON AREAS TO BE VEGETATED TO IMPROVE THE SOIL MEDIUM FOR PLANT ESTABLISHMENT AND MAINTENANCE PER CHAPTER 8 OF THE "STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY" DATED JULY 2017
2. SUBGRADE SOILS SHALL BE OF EXCESSIVE COMPACTION TO A DEPTH OF 6 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER PER CHAPTER 19 OF THE "STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY" DATED JULY 2017.
3. SUBSOILS ARE TO BE PROACTIVELY DE-COMPACTED OR SOIL COMPACTION TESTED PRIOR TO THE APPLICATION OF TOPSOIL. COMPACTION TESTING METHOD/PROCEDURE SHALL BE PERFORMED PER CHAPTER 19 BY THE CONTRACTOR OR OTHER PROJECT OWNER'S REPRESENTATIVE, IF THE TESTING INDICATES SUBSOIL COMPACTION, THE SUBSOIL SHALL BE DE-COMPACTED TO A DEPTH OF 6 INCHES PRIOR TO THE APPLICATION OF TOPSOIL.
4. IF COMPACTION TESTING IS NOT PERFORMED, SUBSOILS SHALL BE SCARIFIED/TILLED TO A MINIMUM DEPTH OF 6 INCHES AS PART OF THE SEQUENCE OF CONSTRUCTION WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.). IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAY BE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.

#### LEGEND

- SOIL DE-COMPACTION TEST SITE
- SILT FENCE
- LIMIT OF DISTURBANCE (LOD)

#### GRAPHIC SCALE



IF THIS DOCUMENT DOES NOT CONTAIN THE RAISED SEAL OF THE UNDERSIGNED PROFESSIONAL, WITH AN INK SIGNATURE, IT IS NOT A VALID COPY OF THE SURVEY AND NO LIABILITY IS ASSUMED FOR THE INFORMATION SHOWN HEREON.

DANIEL J. PATTERSON, PELS  
NEW JERSEY PROFESSIONAL ENGINEER AND  
LAND SURVEYOR  
LICENSE NO. 24GB04257200

**PATTERSON  
SURVEYING &  
ENGINEERING,  
LLC**  
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#24GA28227000  
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LOT(S):  
3

SCALE:  
1"=20'

DATE:  
6/03/2024

DRAWING NO:  
2024-057 B221 L3  
CAMDEN SITE PLAN.dwg  
SHEET No.  
1 OF 2

SOIL EROSION & SEDIMENT  
CONTROL PLAN  
BLOCK 1221 LOT 3  
2035 ADMIRAL WILSON BLVD.  
CITY CAMDEN  
CAMDEN COUNTY, N.J.

PREPARED FOR: BRITO INVESTMENTS, LLC.

PATTERSON No.  
2024-057

REV.	DATE	DESCRIPTION	DWN BY	APP BY
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GENERAL NOTES:

1. ALL APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATIONS AND/OR INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES.
2. SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY (STANDARDS).
3. ALL APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETE AND/OR THE AREA IS STABILIZED.
4. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN SIXTY (60) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND FERTILIZATION IN ACCORDANCE WITH THE STANDARDS. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS WILL BE MULCHED WITH SALT HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE STANDARDS (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID MULCH BINDER).
5. ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH IN ACCORDANCE WITH THE STANDARDS IMMEDIATELY FOLLOWING ROUGH GRADING.
6. THE SITE SHALL, AT ALL TIMES, BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
7. ALL SOIL EROSION AND SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT.
8. SOIL STOCKPILES ARE NOT TO BE LOCATED WITHIN FIFTY (50) FEET OF A FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES SHOULD BE PROTECTED BY A HAY BALE BARRIER OR SEDIMENT FENCE. PROPOSED LOCATION(S) IS/ARE SHOWN ON THE PLAN.
9. A CRUSHED-STONE TIRE CLEANING PAD WILL BE INSTALLED WHEREVER A CONSTRUCTION ENTRANCE EXISTS. THE RIP-RAP PAD MUST BE 60 FEET IN LENGTH AND THE STONE MUST BE 1.5"-4" IN SIZE PLACED 8" THICK AND THE FULL WIDTH OF THE ENTRANCE. IT SHOULD BE UNDERLAIN WITH A SUITABLE SYNTHETIC FILTER FABRIC AND MAINTAINED. PROPOSED LOCATION(S) IS/ARE SHOWN ON THE PLAN.
10. IF A STONE CONSTRUCTION ACCESS IS TO BE USED AS AN EXIT ONTO A MAJOR HIGHWAY, A THIRTY (30) FOOT PAVED TRANSITION AREA SHALL BE INSTALLED.
11. ALL DRIVEWAYS MUST BE STABILIZED WITH 2½" CRUSHED STONE OR SUB-BASE PRIOR TO INDIVIDUAL LOT CONSTRUCTION.
12. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
13. ALL CATCH BASIN INLETS WILL BE PROTECTED DURING CONSTRUCTION (FILTER DETAILS APPEAR ON PLAN).
14. ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
15. ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTRATION DEVICE. THE SEDIMENT FILTER MUST BE PLACED SO AS NOT TO CAUSE EROSION OF THE DOWNSTREAM AREA. FIELD PLACEMENT AND USE OF THE STRUCTURE MUST BE APPROVED BY THE DISTRICT EROSION CONTROL INSPECTOR PRIOR TO COMMENCEMENT OF DEWATERING ACTIVITIES.
16. THE CAPE-ATLANTIC COUNTY SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED 72 HOURS PRIOR TO ANY LAND DISTURBANCE.
17. SOIL HAVING A pH OF 4.0 OR LESS OR CONTAINING IRON SULFIDE MUST BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A pH OF 5.0 OR MORE BEFORE SEEDBED PREPARATION.
18. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE CONFIRMATION OF LIME, FERTILIZER AND SEED APPLICATION RATES AT THE REQUEST OF THE CAPE-ATLANTIC COUNTY SOIL CONSERVATION DISTRICT.
19. N.J.S.A. 4:24-39, et seq., REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE ALL THE PROVISIONS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES. ALL SITE WORK FOR THE PROJECT MUST BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE AS A PREREQUISITE TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
20. N.J.S.A. 4:24-39, et seq., REQUIRES THAT, UPON PERMANENT SITE STABILIZATION AND COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL APPLY TO THE SOIL CONSERVATION DISTRICT FOR A FINAL COMPLIANCE INSPECTION TO CHECK THAT ALL THE PROVISIONS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES.
21. MULCHING IS REQUIRED ON ALL SEEDED AREAS TO INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED TO PROMOTE EARLIER VEGETATION COVER.
22. BOTH ON AND OFFSITE SEDIMENT DISTURBANCE MAY REQUIRE ADDITIONAL CONTROL MEASURES TO BE DETERMINED BY THE DISTRICT EROSION CONTROL INSPECTOR.
23. A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE MAINTAINED ON THE PROJECT SITE DURING CONSTRUCTION.
24. ANY CONVEYANCE OF THIS PROJECT PRIOR TO ITS COMPLETION WILL TRANSFER FULL RESPONSIBILITY FOR COMPLIANCE WITH THE CERTIFIED PLAN TO ALL SUBSEQUENT OWNERS.
25. ANY CHANGES TO THE SITE PLAN WILL REQUIRE THE SUBMISSION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN TO THE CAPE-ATLANTIC COUNTY SOIL CONSERVATION DISTRICT. THE REVISED PLAN MUST BE IN ACCORDANCE WITH THE CURRENT STANDARDS.
26. ALL DEBRIS CREATED AS A RESULT OF CONSTRUCTION IS TO BE STOCKPILED AND REMOVED BY THE CONTRACTOR IMMEDIATELY AFTER THE COMPLETION OF STRIPPING AND STOCKPILING TOPSOIL. THE STOCKPILE SHALL BE SEEDED WITH TEMPORARY VEGETATION. STABILIZE TOPSOIL STOCKPILES WITH STRAW MULCH FOR PROTECTION IF THE SEASON DOES NOT PERMIT THE ESTABLISHMENT OF TEMPORARY SEED.
27. THE CONTRACTOR IS TO COORDINATE ALL SOIL SEDIMENT RELATED MATTERS WITH THE CAPE-ATLANTIC COUNTY SOIL CONSERVATION DISTRICT.
28. MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT BE CONSTRUCTED STEEPER THAN 3:1, UNLESS NOTED ON PLAN.
29. THE PROPERTY IS LOCATED OUTSIDE OF THE 100-YR FLOODPLAIN.
30. THE PROPOSED SITE DEVELOPMENT IS NOT AFFECTED BY FLOOD HAZARD OR WETLANDS REGULATIONS.
31. ALL DISTURBED AREAS IN THE SITE ARE TO BE SEEDDED, FERTILIZED, AND MULCHED.
32. CONCRETE TRUCK WASHOUT AREAS WILL BE MAINTAINED ON A CONTINUAL BASIS AND AS NEEDED.
33. THE SCD INSPECTOR OR NJDEP INSPECTOR MAY REQUIRE ADDITIONAL MEASURES FOR STORMWATER POLLUTION PREVENTION TO BE INSTALLED.

CONT. SOIL EROSION AND SEDIMENT CONTROL NOTES

34. INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONDUCTED AND DOCUMENTED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT.
35. WASTE COLLECTION CONTAINERS WILL NOT BE PERMITTED TO OVERFLOW.
36. ANY SPILLS OF HAZARDOUS OR SANITARY WASTES WILL BE CLEANED UP IMMEDIATELY, AND IN ACCORDANCE WITH THE SPILL RESPONSE PLAN. SPILL KITS MUST BE AVAILABLE ONSITE OR ADJACENT TO THE SITE.
37. ANY HAZARDOUS SUBSTANCE RELEASES IN EXCESS OF REPORTABLE QUANTITIES (RQ) ESTABLISHED UNDER 40 C.F.R. 100, 117, AND 302 THAT OCCUR WITHIN A 24 HOUR PERIOD MUST BE REPORTED TO THE NATIONAL RESPONSE CENTER (800-424-8802).

VEGETATIVE STANDARDS:

PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION

A. TOPSOIL

1. TOPSOIL OBTAINED FROM STRIPPING WITHIN THE LIMITS OF THE SITE OR FURNISHED FROM OUTSIDE THE SITE SHALL CONTAIN NO STONES, LUMPS, ROOTS OR SIMILAR OBJECTS LARGER THAN TWO INCHES IN ANY DIMENSION, AND SHALL HAVE A pH VALUE OF NOT LESS THAN 5.0 NOR MORE THAN 7.5.
2. WHEN THE pH VALUE OF THE TOPSOIL IS LESS THAN 5.0, IT SHALL BE INCREASED BY APPLYING GROUND LIMESTONE AT A RATE NECESSARY TO ATTAIN AN ACCEPTABLE pH LEVEL.
3. TOPSOIL FURNISHED FROM SOURCES OUTSIDE THE LIMITS OF THE SITE SHALL HAVE A MINIMUM ORGANIC CONTENT OF NOT LESS THAN 2.5% BY WEIGHT. ORGANIC MATTER CONTENT MAY NOT BE RAISED BY ADDITIVES.
4. IMMEDIATELY PRIOR TO TOPSOIL DISTRIBUTION, THE SURFACE SHALL BE SCARIFIED TO A MINIMUM DEPTH OF THREE INCHES TO PROVIDE A GOOD BOND WITH THE TOPSOIL.
5. THE TOPSOIL SHALL BE APPLIED TO A UNIFORM DEPTH OF 5 INCHES (UNSETTLED). SOIL WITH A pH VALUE OF 4.0 OR LESS SHALL BE COVERED WITH A MINIMUM DEPTH OF 12 INCHES OF SOIL HAVING A pH VALUE OF 5.0 OR MORE.
6. REFER TO LANDSCAPE PLANS AND SPECIFICATIONS FOR ADDITIONAL TOPSOIL REQUIREMENTS AND INFORMATION.

B. SEEDBED PREPARATION

1. APPLY LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDES) AT THE FOLLOWING RATE DEPENDENT UPON THE SITE SOILS:

SOIL TEXTURE	APPLICATION RATE (TONS/ACRE / LBS/1000 SQ. FT.)
CLAY, CLAY LOAM, AND HIGH ORGANIC SOIL	3/135
SANDY LOAM, LOAM, SILT LOAM	2/90
LOAMY SAND, SAND	1/45
2. APPLY FERTILIZER AT A RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET USING 10-10-10 OR EQUIVALENT. IN ADDITION, 300 POUNDS 38-0-0 PER ACRE OR EQUIVALENT OF SLOW RELEASE NITROGEN MAY BE USED IN LIEU OF TOP DRESSING.
3. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM, FINE SEEDBED IS PREPARED. ALL BUT CLAY OR SILTY SOILS AND COARSE SANDS SHOULD BE ROLLED TO FIRM THE SEEDBED WHEREVER FEASIBLE.
4. REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER IN ANY DIMENSION, REMOVE ALL OTHER DEBRIS SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS OR OTHER UNSUITABLE MATERIAL.
5. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT SOIL COMPACTED, THE AREA MUST BE RE-TILLED AND FIRMED AS ABOVE.

C. SEEDING

1. PROPOSED SEED MIXTURE FOR LAWN AREA:

SEED MIX	SEEDING RATE (LBS PER 1,000 S.F.)
SPREADING FESCUE	0.86
RED FESCUE	0.86
KENTUCKY BLUEGRASS	1.72
PERENNIAL RYEGRASS	0.56

PROPOSED SEED MIXTURE FOR BASINS: (AS MANUFACTURED BY LOFTS SEED OR EQUAL AS APPROVED BY THE TOWNSHIP)

SEED MIX	SEEDING RATE (LBS PER 1,000 S.F.)
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- |                                |     |
|--------------------------------|-----|
| CONSERVATION DRY MIX (SLOPES)  | 3.0 |
| CONSERVATION WET MIX (BOTTOMS) | 3.0 |
2. ALL SEED MUST BE RAKED OR DRILLED INTO SOIL. NORMAL SEEDING DEPTH IS FROM 1/4 TO 1/2 INCH.
  3. WHERE FEASIBLE, EXCEPT WHERE EITHER A CULTPACKER TYPE SEEDER OR HYDROSEEDER IS USED, THE SEEDBED SHOULD BE FIRMED FOLLOWING SEEDING OPERATIONS WITH A ROLLER OR LIGHT DRAG. SEEDING OPERATIONS SHOULD BE ON THE CONTOUR.

VEGETATIVE STANDARDS:

D. MULCHING

1. MULCHING IS REQUIRED ON SITES DIFFICULT TO VEGETATE (SANDS, SLOPES, HYDROSEEDING AND OFF-SEASON OPERATIONS).
2. MULCH MATERIALS SHALL BE UNROTTED SALT HAY, HAY OR SMALL GRAIN STRAW AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE, OR 70 TO 90 POUNDS PER 1,000 SQUARE FEET, EXCEPT THAT WHERE A CRIMPER (MULCH ANCHORING COULTER TOOL) IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH BLOWERS SHOULD NOT GRIND OR CHOP THE MATERIAL.
3. SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 75% TO 90% OF THE SOIL SURFACE WILL BE COVERED.
4. MULCH ANCHORING SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE ACCOMPLISHED BY THE PEG AND TWINE METHOD, MULCH NETTINGS, MULCH ANCHORING TOOL OR LIQUID MULCH BINDERS.

E. IRRIGATION

IF SOIL MOISTURE IS DEFICIENT, AND MULCH IS NOT USED, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER (A MINIMUM OF 1/4 INCH TWICE DAILY UNTIL VEGETATION IS WELL ESTABLISHED). THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE IN ABNORMALLY DRY OR HOT WEATHER OR ON DROUGHTY SITES.

F. TOP DRESSING

FALL SEEDINGS WILL REQUIRE AN APPLICATION OF FERTILIZER (SUCH AS 10-10-10 OR EQUIVALENT) AT A MINIMUM OF 400 POUNDS PER ACRE OR 10 POUNDS PER 1,000 SQUARE FEET BETWEEN SEPTEMBER 1ST AND OCTOBER 15TH. SPRING SEEDING WILL REQUIRE THE ABOVE BETWEEN MARCH 15TH AND MAY 1ST. IF SLOW RELEASE NITROGEN (300 POUNDS OF 38-0-0 PER ACRE) IS USED IN ADDITION TO SUGGESTED FERTILIZER, THIS FOLLOW-UP OF TOP DRESSING IS NOT MANDATORY.

STABILIZATION WITH MULCH ONLY

A. PROTECTIVE MATERIALS

1. UNROTTED SMALL GRAIN STRAW, HAY OR SALT HAY AT 2.0 TO 2.5 TONS PER ACRE TO SPREAD UNIFORMLY AT 90 TO 115 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS OR NETTING TIE DOWN.
2. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN SUITABLE QUANTITIES AS RECOMMENDED BY THE MANUFACTURER.
3. WOOD-FIBER OR PAPER-FIBER MULCH AT A RATE OF 1,500 POUNDS PER ACRE (OR AS RECOMMENDED BY THE MANUFACTURER) MAY BE APPLIED BY A HYDROSEEDER.
4. MULCH NETTING SUCH AS PAPER JUTE, EXCELSIOR, COTTON OR PLASTIC MAY BE USED.
5. WOODCHIPS APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 2 INCHES MAY BE USED, BUT SHALL NOT BE USED ON AREAS WHERE FLOWING WATER COULD WASH THEM INTO AN INLET AND PLUG IT.

TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION

1. REFER TO PERMANENT VEGETATIVE COVER, ITEMS B1-B2.
2. REFER TO PERMANENT VEGETATIVE COVER, ITEM B3.
3. APPLY PERENNIAL RYE GRASS AT A RATE OF 100 POUNDS PER ACRE OR 2.3 POUNDS PER 1,000 SQUARE FEET.
4. REFER TO PERMANENT VEGETATIVE COVER, ITEM B5.
5. REFER TO PERMANENT VEGETATIVE COVER, ITEM C2.
6. REFER TO PERMANENT VEGETATIVE COVER, ITEM C3.

DUST CONTROL:

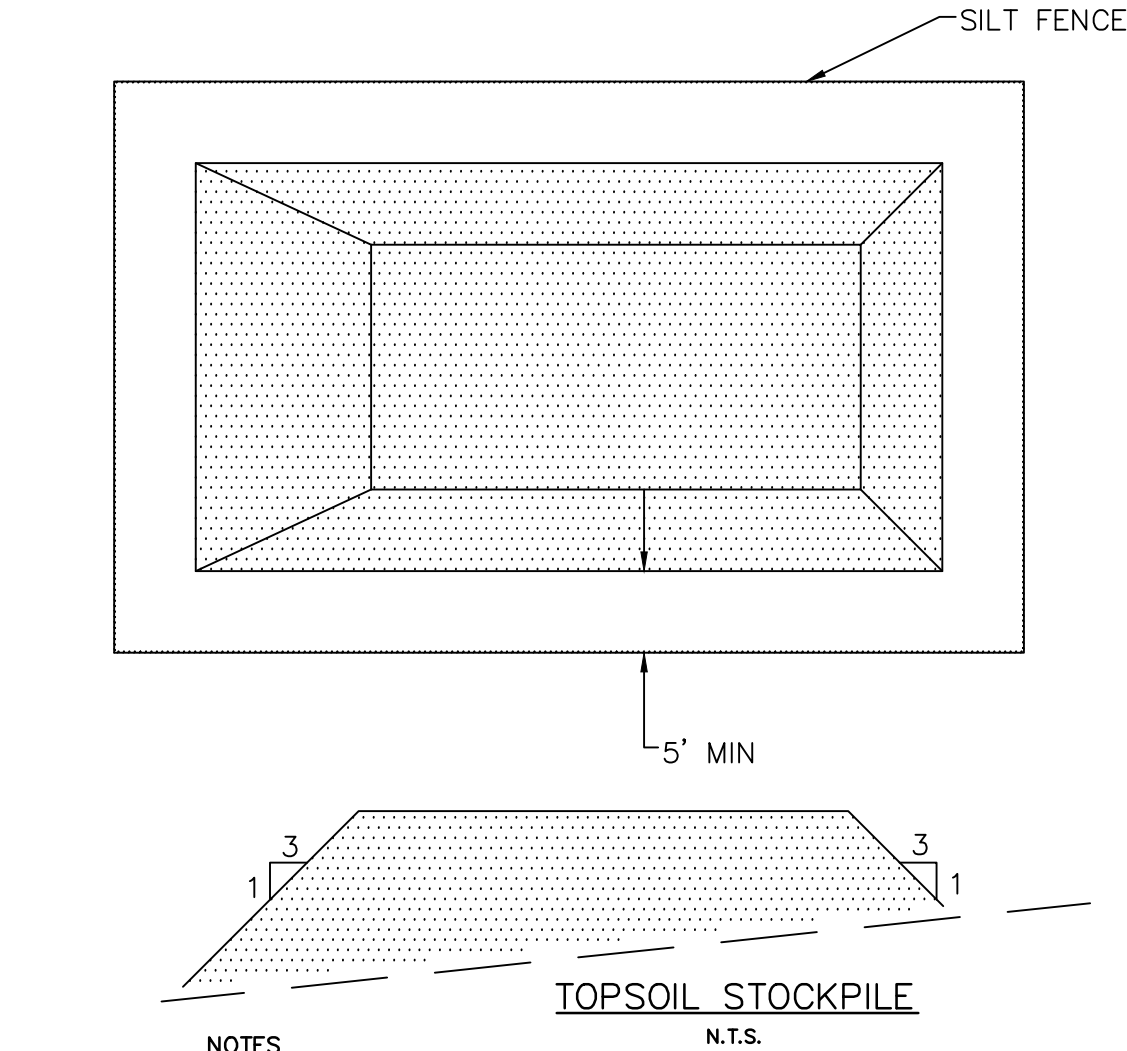
IF DUST BECOMES A PROBLEM DURING EXCAVATION OR GRADING OPERATIONS DUE TO LOW MOISTURE CONTENT IN THE SOIL, THE FOLLOWING MEASURES SHALL BE TAKEN:

1. ALL AREAS SUBJECT TO DUST MOVEMENT SHALL BE SPRINKLED WITH WATER UNTIL THE SURFACE IS MOIST. THIS SHALL BE REPEATED AS REQUIRED TO MAINTAIN MOISTURE CONTENT IN THE SOIL SUFFICIENT TO PREVENT DUST MOVEMENT.
2. IF THE USE OF WATER BECOMES IMPRACTICAL OR INEFFECTIVE, THE USE OF CALCIUM CHLORIDE IS ACCEPTABLE, PROVIDED THERE ARE NO RESTRICTIONS PER THE LOCAL MUNICIPAL ORDINANCE. CALCIUM CHLORIDE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH A COMMON SPREADER SHALL BE SPREAD OVER THE SUSCEPTIBLE AREAS AT A RATE THAT WILL KEEP THE SURFACE MOIST, BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, OTHER PRACTICES SHALL BE IMPLEMENTED TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.

ACID SOILS NOTES

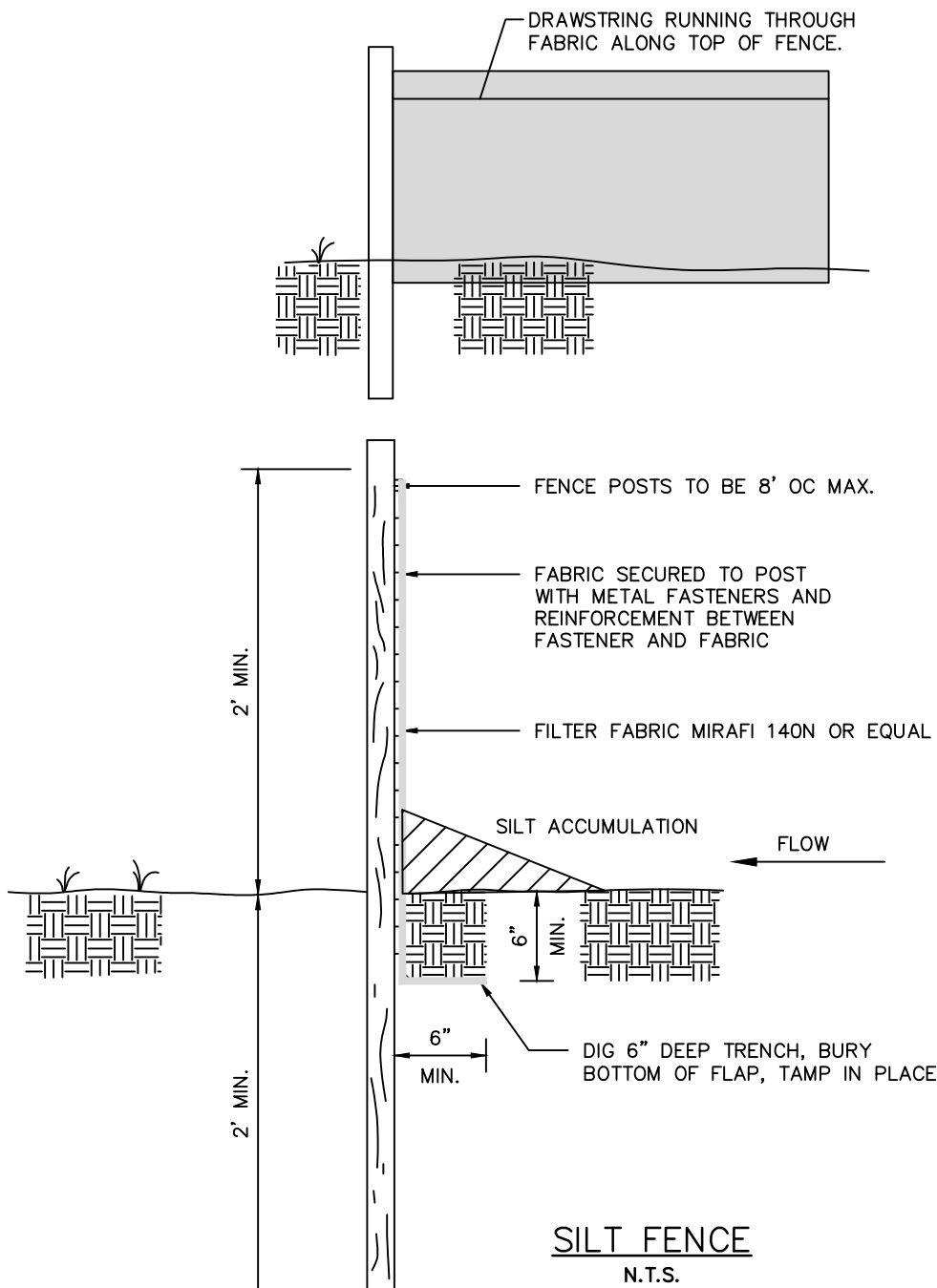
IN ORDER TO PROVIDE SUITABLE CONDITIONS FOR GROWTH AND VEGETATION AND TO PREVENT THE ACIDIFYING OF DRAINAGE WATER IN THOSE AREAS UNDERLAIN WITH ACID FORMATIONS WITH A pH BELOW 4.0 THE FOLLOWING REQUIREMENTS SHALL BE MET:

1. LIMIT THE EXCAVATION AREA AND EXPOSURE TIME WHEN HIGH ACID PRODUCING SOILS ARE ENCOUNTERED.
2. TOPSOIL STRIPPED FROM THE SITE SHALL BE STORED SEPARATELY FROM TEMPORARILY STOCKPILED HIGH ACID PRODUCING SOILS.
3. STOCKPILES OF HIGH ACID PRODUCING SOIL SHOULD BE LOCATED ON LEVEL LAND TO MINIMIZE ITS MOVEMENT, ESPECIALLY WHEN THIS MATERIAL HAS A HIGH CLAY CONTENT.
4. TEMPORARILY STOCKPILED HIGH ACID PRODUCING SOIL MATERIAL TO BE EXPOSED MORE THAN 30 DAYS SHOULD BE COVERED WITH PROPERLY ANCHORED, HEAVY GRADE SHEETS OF POLYETHYLENE WHERE POSSIBLE. IF NOT POSSIBLE, STOCKPILES SHALL BE COVERED WITH A MINIMUM OF 3 TO 6 INCHES OF WOOD CHIPS TO MINIMIZE EROSION OF THE STOCKPILE. SILT FENCE SHALL BE INSTALLED AT THE TOE OF THE SLOPE TO CONTAIN MOVEMENT OF THE STOCKPILED MATERIAL. TOPSOIL SHALL NOT BE APPLIED TO THE STOCKPILES.
5. HIGH ACID PRODUCING SOILS WITH A pH OF 4 OR LESS, OR CONTAINING IRON SULFIDE (INCLUDING BORROW FROM CUTS) SHALL BE ULTIMATELY PLACED OR BURIED WITH LIMESTONE APPLIED AT A RATE OF 6 TONS PER ACRE (OR 275 POUNDS PER 1,000 S.F. OF SURFACE AREA) AND COVERED WITH A MINIMUM OF 12 INCHES OF SETTLED SOIL WITH A pH OF 5 OR MORE EXCEPT AS FOLLOWS:
  - a. AREAS WHERE TREES OR SHRUBS ARE TO BE PLANTED SHALL BE COVERED WITH A MINIMUM OF 24 INCHES OF SOIL WITH A pH OF 5 OR MORE.
  - b. DISPOSAL AREAS SHALL NOT BE LOCATED WITHIN 24 INCHES OF ANY SURFACE OF A SLOPE OR BANK, SUCH AS BERMS, STREAM BANKS, DITCHES AND OTHERS TO PREVENT POTENTIAL LATERAL LEACHING DAMAGES.
6. EQUIPMENT USED FOR MOVEMENT OF HIGH ACID PRODUCING SOILS SHOULD BE CLEANED AT THE END OF EACH DAY TO PREVENT SPREADING OF HIGH ACID SOIL MATERIALS TO OTHER PARTS OF THE SITE, INTO STREAMS OR STORM WATER CONVEYANCES AND TO PROTECT MACHINERY FROM ACCELERATED RUSTING.
7. NON-VEGETATIVE EROSION CONTROL PRACTICES (STONE TRACKING PADS, STRATEGICALLY PLACED LIMESTONE CHECK DAM, SILT FENCE, WOOD CHIPS) SHOULD BE INSTALLED TO LIMIT THE MOVEMENT OF HIGH ACID PRODUCING SOILS FROM AROUND OR OFF THE SITE.
8. FOLLOWING BURIAL OR REMOVAL OF HIGH ACID PRODUCING SOIL, TOPSOILING AND SEEDING OF THE SITE, (SEE TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION, PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION AND TOPSOILING) MONITORING SHOULD CONTINUE FOR APPROXIMATELY 6 TO 12 MONTHS TO ASSURE THERE IS ADEQUATE STABILIZATION AND THAT NO HIGH ACID SOIL PROBLEMS EMERGE. IF PROBLEMS STILL EXIST, THE AFFECTED AREA MUST BE TREATED AS INDICATED ABOVE TO CORRECT THE PROBLEM.
9. MONITORING OF AREAS WHERE HIGH ACID PRODUCING SOIL HAS BEEN PLACED OR BURIED SHOULD BE PERFORMED FOR AT LEAST 2 YEARS OR LONGER IF PROBLEMS OCCUR TO ASSURE THERE IS NO MIGRATION OF POTENTIAL ACID LEACHATE.



NOTES

1. PLACE STOCKPILES AT LOCATIONS AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
2. ALL SIDE SLOPES SHALL BE 3 TO 1 OR FLATTER.
3. STOCKPILE SHALL RECEIVE VEGETATIVE COVER.
4. SILT FENCE SHALL BE INSTALLED AS DETAILED HEREON.

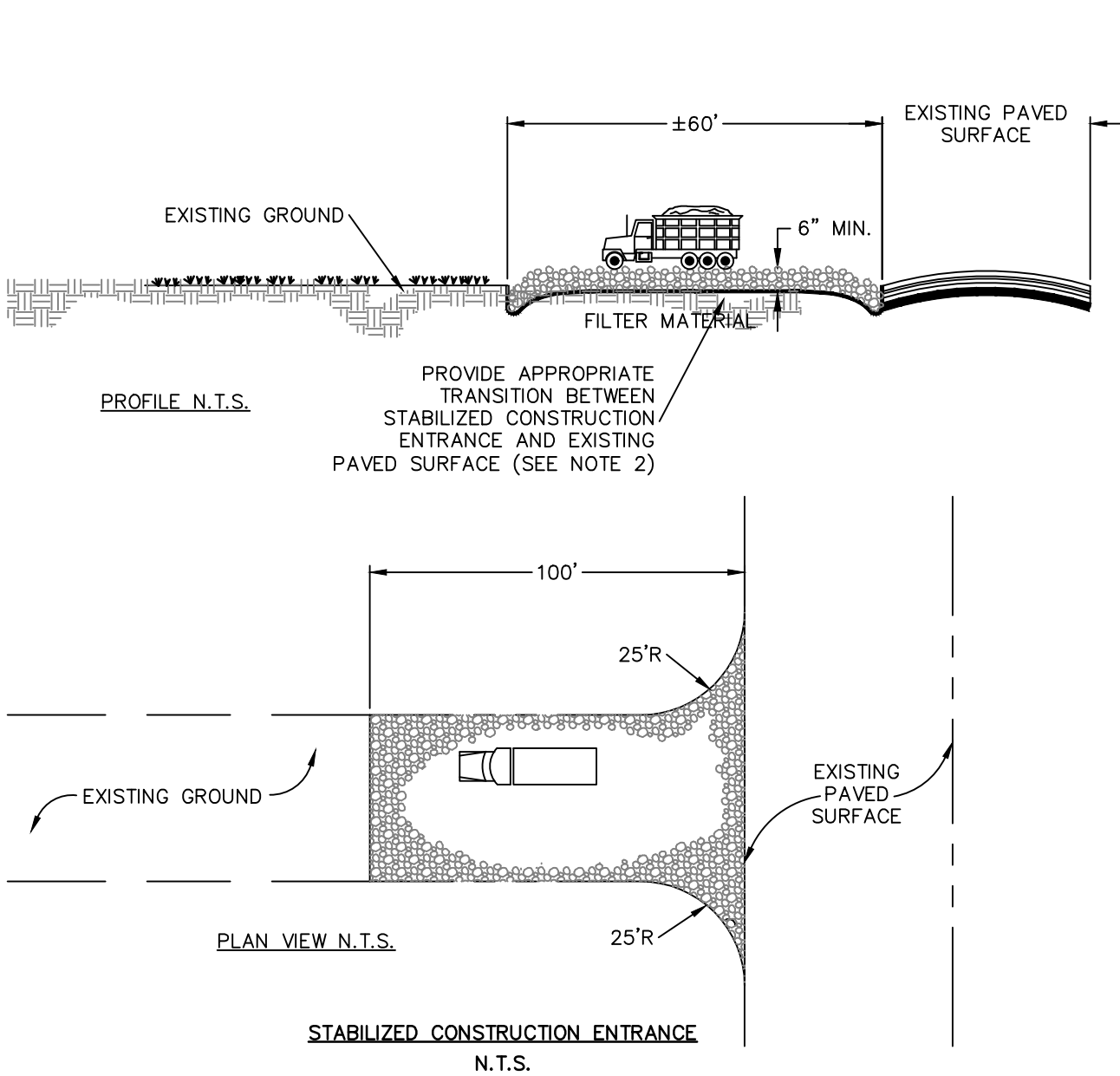


NOTES:

- REQUIREMENTS FOR SILT FENCE:
1. FENCE POSTS SHALL BE SPACED 8 FEET CENTER-TO-CENTER OR CLOSER. THEY SHALL EXTEND AT LEAST 2 FEET INTO THE GROUND AND EXTEND AT LEAST 2 FEET ABOVE GROUND (FIG. 25-2). POSTS SHALL BE CONSTRUCTED OF HARDWOOD WITH A MINIMUM DIAMETER THICKNESS OF 1 1/2 INCHES.
  2. A METAL FENCE WITH 6 INCH OR SMALLER OPENINGS AND AT LEAST 2 FEET HIGH MAY BE UTILIZED, FASTENED TO THE FENCE POSTS, TO PROVIDE REINFORCEMENT AND SUPPORT TO THE GEOTEXTILE FABRIC WHERE SPACE FOR OTHER PRACTICES IS LIMITED AND HEAVY SEDIMENT LOADING IS EXPECTED.
  3. A GEOTEXTILE FABRIC, RECOMMENDED FOR SUCH USE BY THE MANUFACTURER, SHALL BE BURIED AT LEAST 6 INCHES DEEP IN THE GROUND. THE FABRIC SHALL EXTEND AT LEAST 2 FEET ABOVE THE GROUND. THE FABRIC MUST BE SECURELY FASTENED TO THE POSTS USING A SYSTEM CONSISTING OF METAL FASTENERS (NAILS OR STAPLES) AND A HIGH STRENGTH REINFORCEMENT MATERIAL (NYLON WEBBING, GROMMETS, WASHERS ETC.) PLACED BETWEEN THE FASTENER AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM SHALL RESIST TEARING AWAY FROM THE POST. THE FABRIC SHALL INCORPORATE A DRAWSTRING IN THE TOP PORTION OF THE FENCE FOR ADDED STRENGTH.

MAINTENANCE:

1. SEDIMENT SHALL BE REMOVED FROM THE UPSTREAM FACE OF THE BARRIER WHEN IT HAS REACHED A DEPTH OF 1/2 THE BARRIER HEIGHT.
2. REPAIR OR REPLACE BARRIER (FABRIC, POSTS, BALES ETC.) WHEN DAMAGED.
3. BARRIERS SHALL BE INSPECTED DAILY FOR SIGNS OF DETERIORATION AND SEDIMENT REMOVAL.

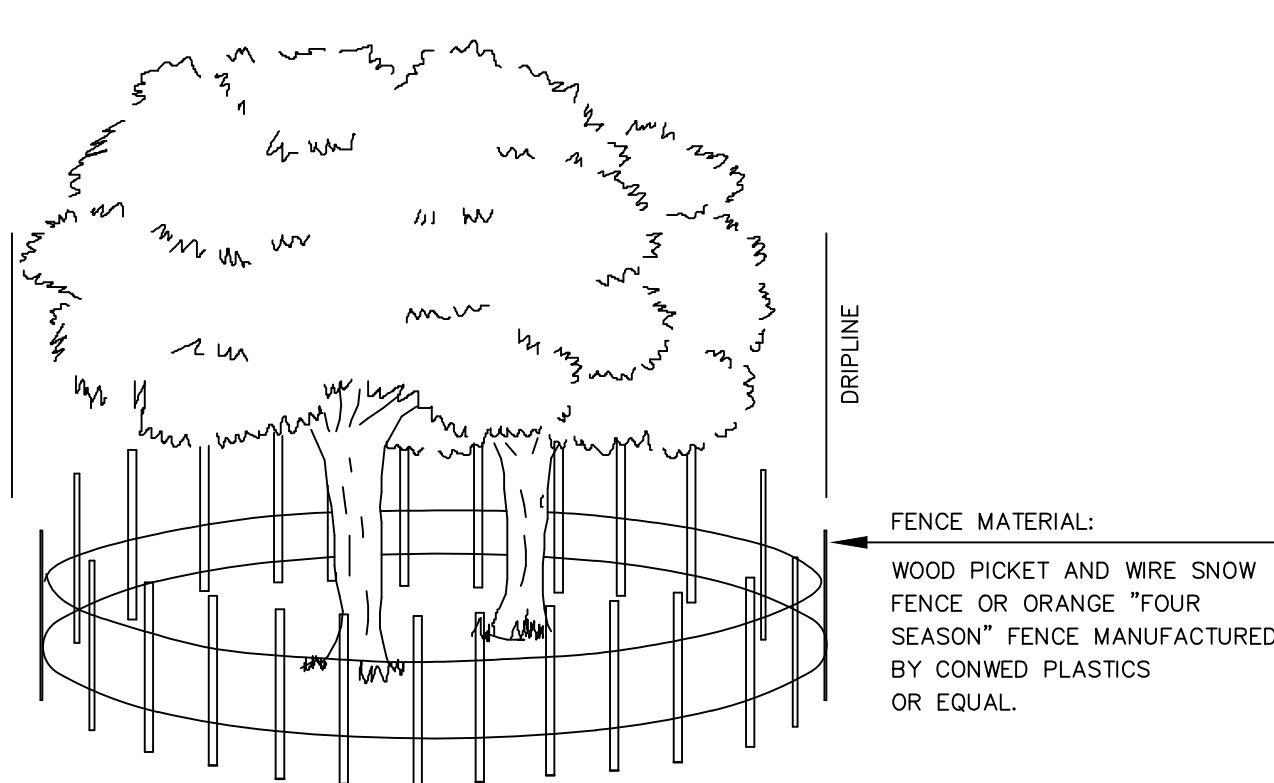


NOTES:

1. STONE SIZE SHALL BE CLEAN CRUSHED ANGULAR STONE ASTM C-33, SIZE NO. 2 (2-1/2 TO 1-1/2 IN.) OR 3 (2 TO 1 IN.). STONE SIZE FOR CAPE-ATLANTIC COUNTY SHALL BE 1-1/2 TO 4 INCHES. CRUSHED CONCRETE OF SIMILAR SIZE MAY BE SUBSTITUTED. CHECK WITH SOIL DISTRICT FOR APPROVAL AND REQUIREMENTS.
2. IF A STONE STABILIZED CONSTRUCTION ACCESS IS TO BE USED AS AN EXIT ONTO A MAJOR HIGHWAY, A THIRTY FOOT (30') PAVED TRANSITION AREA SHALL BE INSTALLED.

MAINTENANCE:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO ROADWAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO ROADWAYS (PUBLIC OR PRIVATE) OR OTHER IMPERVIOUS SURFACES MUST BE REMOVED IMMEDIATELY.
2. WHERE ACCUMULATION OF DUST/SEDIMENT IS INADEQUATELY CLEANED OR REMOVED BY CONVENTIONAL METHODS, A POWER BROOM OR STREET SWEEPER WILL BE REQUIRED TO CLEAN PAVED OR IMPERVIOUS SURFACES. ALL OTHER ACCESS POINTS WHICH ARE NOT STABILIZED SHALL BE BLOCKED OFF.



TREE PROTECTION FENCE

N.T.S.

REV.	DATE	DESCRIPTION	DWN BY	APP BY

IF THIS DOCUMENT DOES NOT CONTAIN THE RAISED SEAL OF THE UNDERSIGNED PROFESSIONAL, WITH AN INK SIGNATURE, IT IS NOT A VALID COPY OF THE SURVEY AND NO LIABILITY IS ASSUMED FOR THE INFORMATION SHOWN HEREON.		<b>PATTERSON SURVEYING &amp; ENGINEERING, LLC</b> CERTIFICATE OF AUTHORIZATION #24GA28227000 133 JACKSON ROAD, SUITE C MEDFORD, NJ 08055 732-501-7192 Dan@PattersonSE.com www.PattersonSE.com	
DANIEL J. PATTERSON, PELS NEW JERSEY PROFESSIONAL ENGINEER AND LAND SURVEYOR LICENSE NO. 24GB04257200		LOT(S): 3 BLOCK: 1221	DRAWING NO: 2024-057 B221 L3 CAMDEN SITE PLAN.dwg SHEET No. 2 OF 2
DATE 6/03/2024		SCALE: 1"=20'	DATE: 6/03/2024
BLOCK: 1221		ACREAGE: 0.538	PATTERSON No. 2024-057

April 16, 2025

**Via E-mail:** [evdavis@ci.camden.nj.us](mailto:evdavis@ci.camden.nj.us)

**& UPS Ground**

Evita Muhammad, Board Secretary  
The City of Camden  
Melvin Primas City Hall  
520 Market Street  
Camden, NJ 08101

**RE: Application of Cannabista, LLC  
2035 Admiral Wilson Boulevard  
Block 1221, Lot 3  
City of Camden, Camden County, New Jersey  
Adjournment Request  
Our File No. 13171-001**

Dear Ms. Muhammad:

As you are aware, this firm represents Cannabista, LLC (the “Applicant”) with respect to the above-referenced application to establish an adult-use cannabis retail facility at the subject property.

On September 9, 2024, the City of Camden Zoning Board granted use variance relief and preliminary and final major site plan approval for the project. These approvals were memorialized in a Resolution dated October 7, 2024, a copy of which is enclosed herein for your reference.

The purpose of this letter is to respectfully request administrative review and approval of minor revisions to the approved plan of development. These revisions have been necessitated by feedback from the New Jersey Department of Transportation (“NJDOT”) regarding building constraints at the subject site, given the site's location on the Admiral Wilson Boulevard (US Route 30).

Specifically, due to limitations imposed by NJDOT on the permissible building size, the Applicant will no longer proceed with the construction of the second and third floors of the proposed structure. As was disclosed during the Zoning Board hearings, these upper floors were intended to remain vacant and available for future commercial/retail use. No tenants had been identified for these spaces, and no operational testimony was provided regarding their use.

Accordingly, the Applicant now intends to proceed solely with the development of a single-story building dedicated to the approved Class 5 cannabis dispensary use. All testimony presented to the Board was focused on this use, which remains unchanged.



Importantly, the proposed revisions will have no impact on circulation, drainage, building arrangement, landscaping, buffering, lighting, off-street parking, or any other site elements typically considered during site plan review. The site will operate exactly as described to the Board, with the only modification being the construction of a single-story building in place of the originally approved three-story structure.

Accordingly, this minor change falls squarely within the scope of administrative review as provided under Section 870-41 of the City of Camden Municipal Ordinance. Specifically, subsection (6) permits administrative site plan approval for revisions that do not affect the fundamental aspects of a development plan, including those listed above.

As the Applicant is merely eliminating the previously unoccupied upper floors and proceeding with the approved dispensary use as presented to the Board, without any associated impacts on the overall site plan, we respectfully submit that these revisions are eligible for administrative approval by the Zoning Board's professionals.

In support of this request, enclosed herein please find the following:

1. Five (5) copies of revised Site Plan prepared by Patterson Surveying & Engineering, LLC dated June 3, 2024, last revised March 25, 2025;
2. Five (5) copies of revised Architectural Elevations prepared by El Donaldo F. Vid dated March 7, 2025;
3. Five (5) copies of Zoning Board of Adjustment Resolution of Approval dated October 7, 2024.

Please do not hesitate to contact me should you require any additional documents or information in connection with the Board professional's review of this request.

Thank you, as always, for your kind attention and usual courtesies.

Very truly yours,

NEHMAD DAVIS & GOLDSTEIN, P.C.

BY:



MICHAEL J. LARIO, JR.

MJL:tlc  
Enclosures



April 16, 2025

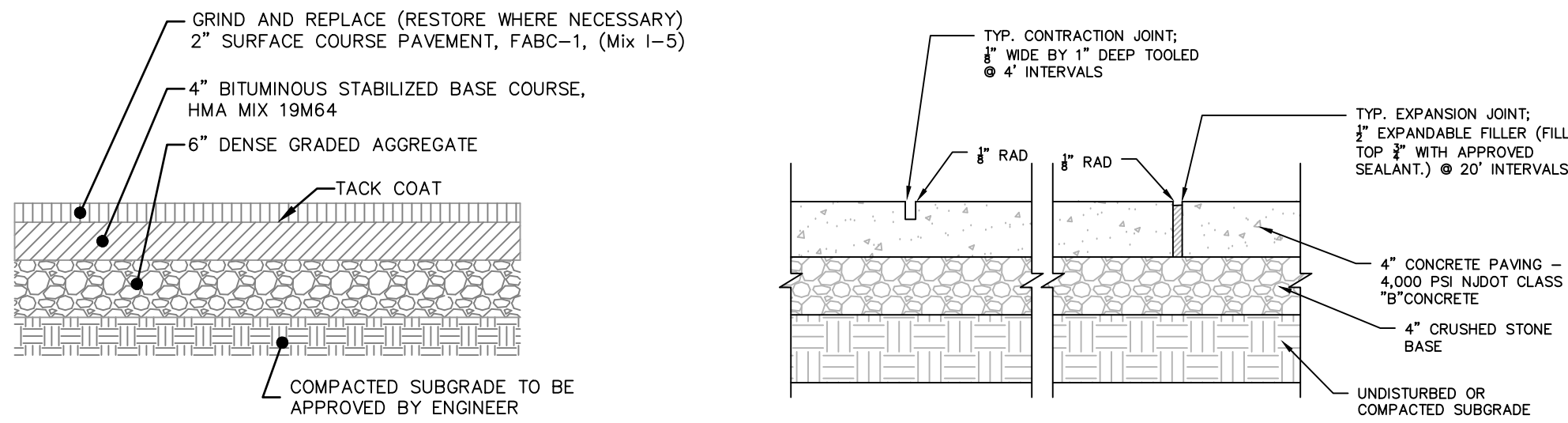
Evita Muhammad, Board Secretary

Page 3

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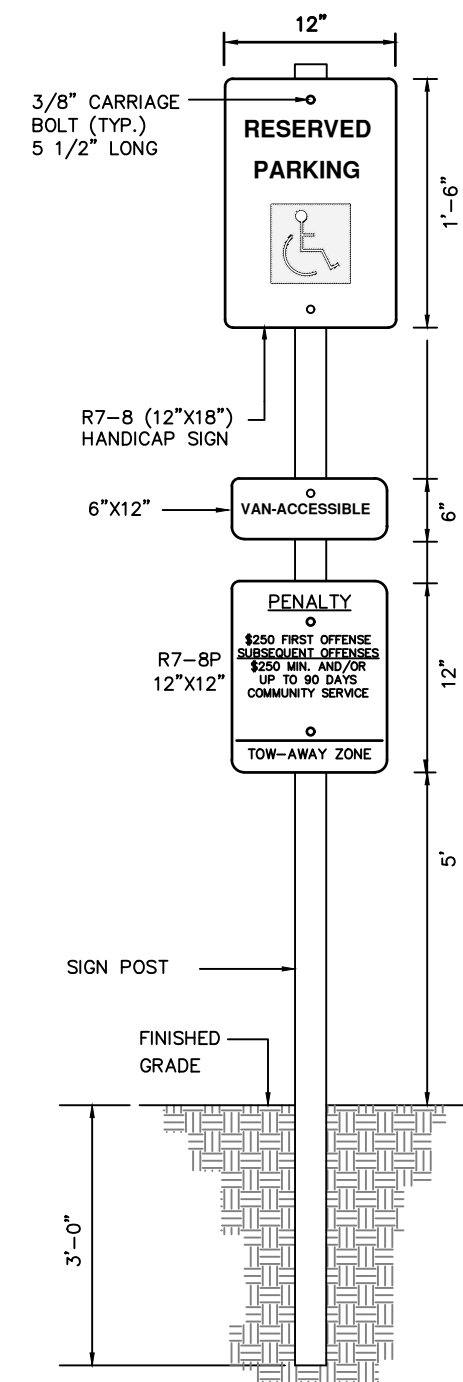
c: Dr. Edward C. Williams, PP, AICP, CSI, AHP (via e-mail: [Development@ci.camden.nj.us](mailto:Development@ci.camden.nj.us))  
Kyle F. Eingorn, Esquire, Board Attorney (via e-mail: [keingorn@dbblegal.com](mailto:keingorn@dbblegal.com))  
Mr. Jose Brito-Bueno (via e-mail: [wecarehomecare@live.com](mailto:wecarehomecare@live.com))  
Don Vid, AI, AIA (via e-mail: [vidalarchitect@gmail.com](mailto:vidalarchitect@gmail.com))  
Dan Patterson, PE (via e-mail: [dan@pattersonse.com](mailto:dan@pattersonse.com))  
Mark A. Remsa, PP, LLA, AICP (via e-mail: [maremsa@aol.com](mailto:maremsa@aol.com))





PAVEMENT SECTION DETAIL  
NTS.

CONCRETE DETAIL  
NTS.



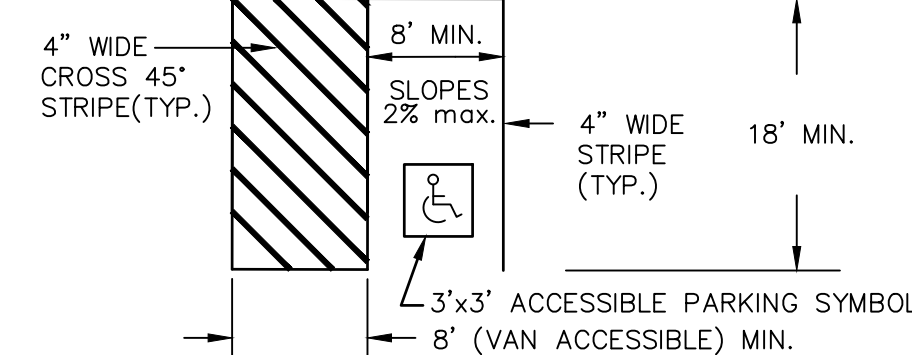
TRAFFIC SIGN DETAIL  
R3-5R NTS.

ACCESSIBLE PARKING  
SIGN  
NTS.



CONTRACTOR TO CALL AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF EXCAVATION WORK.

VAN ACCESSIBLE  
SIGN TO BE  
MOUNTED ON THIS POST.



NOTES:

1. ALL STALLS SHALL BE A MINIMUM OF 8'X18'.
2. SPACES DESIGNATED AS BEING "VAN ACCESSIBLE" SHALL BE ADJACENT TO ACCESS AISLES WITH A MIN. WIDTH OF 8 FEET.
3. PROPOSED STRIPING SHALL BE BLUE IN COLOR.
4. ALL PAINT SHALL BE THERMOPLASTIC.

ACCESSIBLE PARKING STRIPING  
NTS.

#### GENERAL NOTES

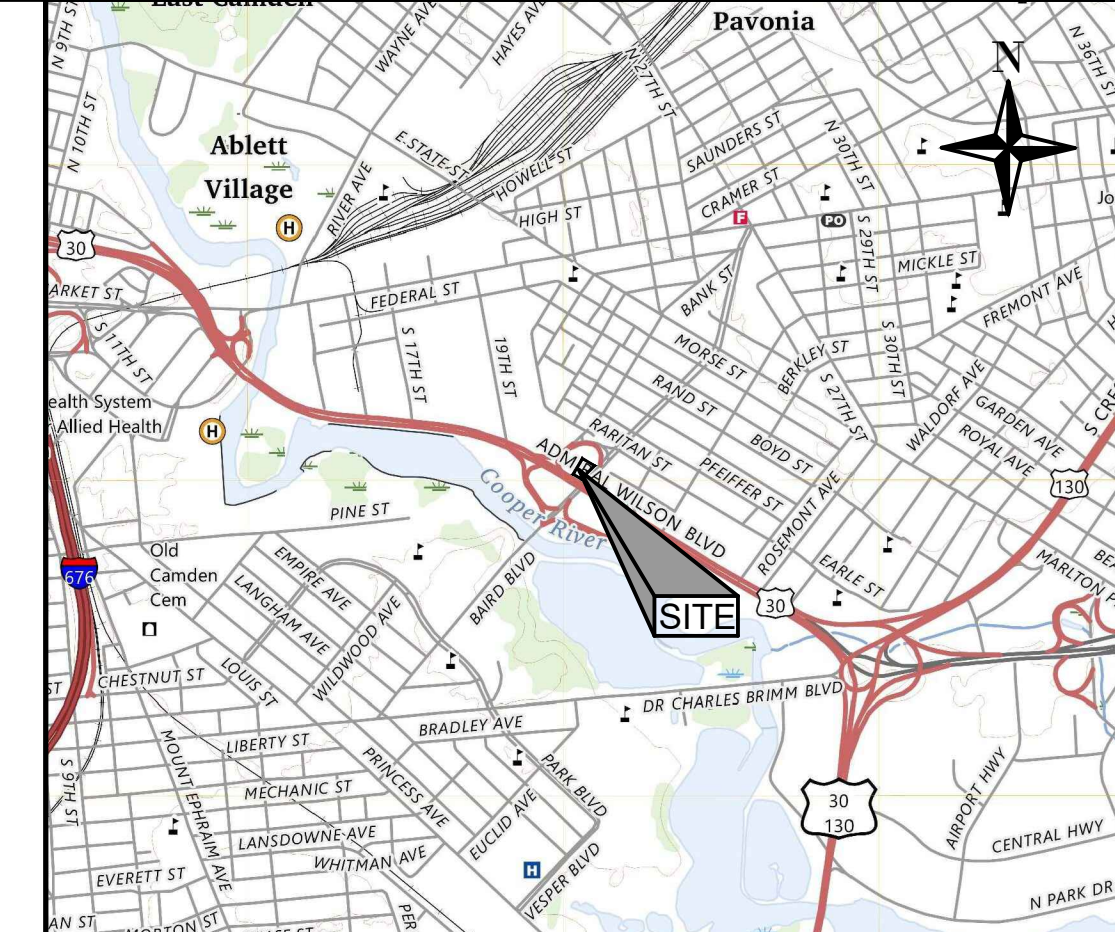
- A. PROPERTY SURVEYED KNOWN AS LOT 3 IN BLOCK 1221 CITY OF CAMDEN, CAMDEN COUNTY, NEW JERSEY AS SHOWN ON MUNICIPAL TAX MAP SHEET #19.10.
- B. SUBJECT PROPERTY CONTAINS 0.538 ACRES OF LAND MORE OR LESS.
- C. HORIZONTAL DATUM: THE HORIZONTAL DATUM IS NAD83-NAD83, WHILE, SITE OUTBOUND SHOWN PER VESTING DEED BK. 12275, PG. 1766.
- D. VERTICAL DATUM: NAVD88
- E. BASED ON A SURVEY PREPARED BY PATTERSON SURVEYING & ENGINEERING 4/17/2024.

#### NOTES

1. OWNER/APPLICANT: BRITO INVESTMENTS, LLC.  
2035 ADMIRAL WILSON BLVD.  
CAMDEN, NJ 08109
2. THE APPLICANT PROPOSES TO CONSTRUCT AN ADDITIONAL 1-STORY COMMERCIAL BUILDING WITH THE FIRST FLOOR USED AS A MARIJUANA DISPENSARY ALONG WITH STAIRWELLS FOR FUTURE EXPANSION OF A SECOND AND THIRD FLOOR ADDITIONS TO BE LEASED IN THE FUTURE FOR COMMERCIAL USES. THE PROJECT WILL ALSO CONSIST OF RESTORING A STORAGE BUILDING AND PAVED PARKING LOT. THE APPLICANT WILL ALSO CONSTRUCT A REQUIRED TRASH/RECYC. ENCLOSURE. THE EXISTING COMMERCIAL BUILDING WILL CONTINUE TO OPERATE AS AN ASIAN FOOD RESTAURANT. THE PROJECT WILL ALSO CONSIST OF ASSOCIATED SITE IMPROVEMENTS INCLUDING A NEW CHAIN LINK FENCE, CONCRETE WALK, LANDSCAPING AND PARKING/TRAFFIC STRIPING.
3. THE APPLICANT SHALL COMPLY WITH THE CITY'S "ORDINANCE ESTABLISHING STANDARDS FOR THE SUBMISSION OF MAPS AND OTHER DOCUMENTS IN A DIGITAL FORMAT. IN ADDITION TO ANY AND ALL HARD COPY SUBMISSIONS ALREADY REQUIRED FOR SUBDIVISION PLANS, SITE PLANS AND CERTAIN PERMIT APPLICATIONS, TWO COPIES OF THE DIGITAL DATA FILES OUTLINED IN THE SUBMISSION TIME FRAME SECTION SHALL BE SUBMITTED TO THE APPROPRIATE CITY OF CAMDEN DEPARTMENT, BOARD OR AGENCY OR OFFICIAL FOR EACH PROJECT WHEN REQUIRED BY SAID DEPARTMENT, BOARD OR AGENCY. ALL FILES MUST BE SUBMITTED IN CAD FORMAT (.DWG OR .DXF FILE) OR ESR/GEODATABASE FORMAT. THE APPLICANT SHOULD BE AWARE THAT FINAL SIGNATURES OF APPROVAL AND BUILDING PERMITS WILL NOT BE ISSUED UNTIL THE REQUIRED INFORMATION IS RECEIVED.
4. THE OWNER, OR HIS REPRESENTATIVE, IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO N.J.A.C. 5:23-2.21 (E) OF THE N.J. UNIFORM CONSTRUCTION CODE AND CFR 1926.32 (F) (OSHA COMPETENT PERSON).
5. ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY ZONING ORDINANCE.
6. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE PRESENCE, LOCATION, AND DEPTH OF ALL UTILITIES.
7. NEW DRIVEWAY APRON TO BE CONSTRUCTED IN ACCORDANCE WITH TOWNSHIP AND NJDOT STANDARDS.
8. DISTURBANCE AREA OF PROJECT: 7,500± S.F.

#### APPROVED BY:

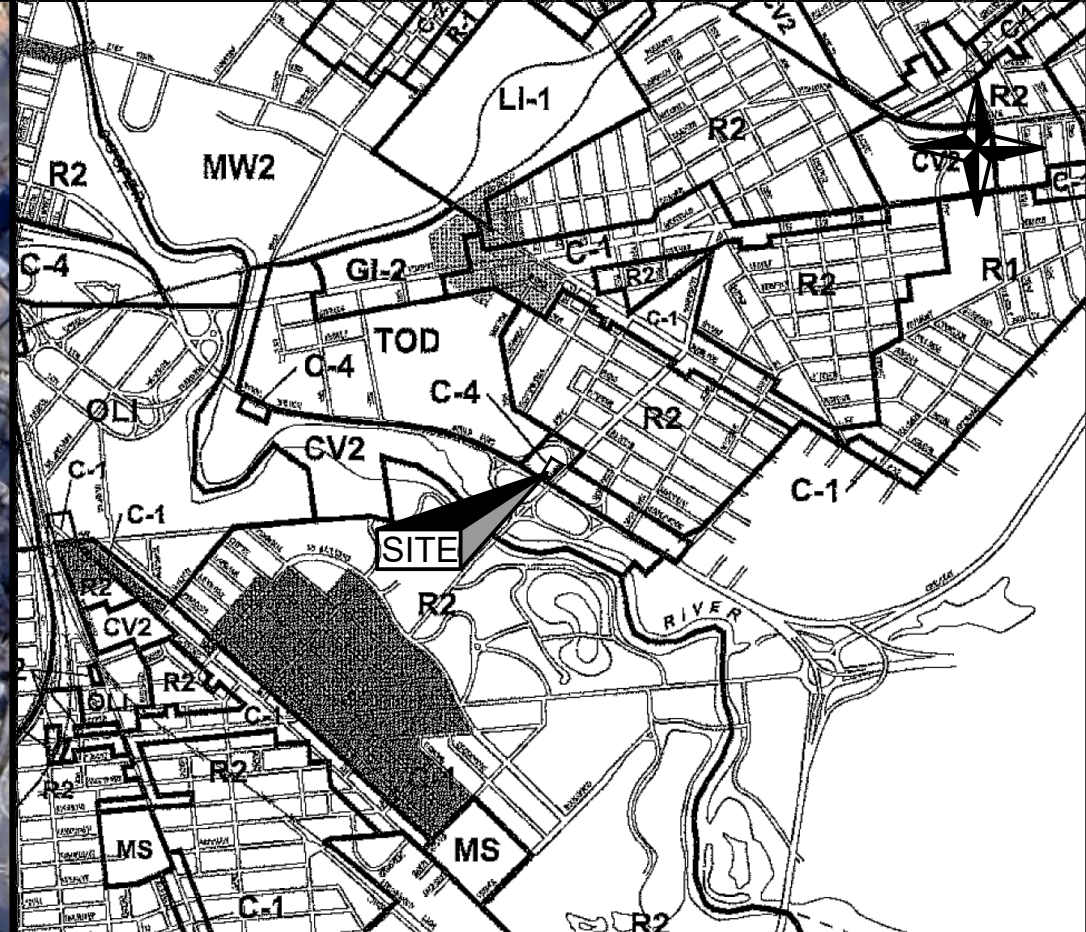
CHAIRPERSON \_\_\_\_\_ DATE \_\_\_\_\_  
SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_  
ZONING OFFICER/ADMINISTRATIVE OFFICER \_\_\_\_\_ DATE \_\_\_\_\_  
PLANNING BOARD ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_



KEY MAP  
SCALE: 1" = 2,000'



AREA MAP  
SCALE: 1" = 200'



ZONING MAP EXCERPT  
(1"=2,000')

#### ZONING CHART SCHEDULE OF AREA, YARD AND BUILDING REQUIREMENTS

ZONE: C-4, COMMERCIAL					
	REQUIRED	EXISTING	STATUS	PROPOSED	STATUS
LOT REQUIREMENTS					
Minimum Lot Area	40,000 sf. (0.918 Acres)	23,443 sf. (0.538 Acres)	ENC	NO CHANGE	
Minimum Lot Width	200 feet	105.77'	ENC	NO CHANGE	
YARD REQUIREMENTS					
Minimum Front Yard	25 feet	0.0'	ENC	0.0'	ENC
Minimum Side Yard	20 feet	10.7'	ENC	10.7'	ENC
Minimum Side Yard Aggregate	50 feet	78.0'	C	78.0'	C
Minimum Rear Yard	30 feet	150.2'	C	31.2'	C
COVERAGE & BUILDING REQUIREMENTS					
Maximum Building Coverage	60%	6.0% (1,405 sf.)	C	20.8% (4,880 sf.)	C
Maximum Impervious Coverage	80%	87.5% (20,501 sf.)	ENC	77.3% (18,130 sf.)	C
Minimum Building Height	2 stories or 30 feet	1 story <30'	ENC	1 story 11'	ENC
Maximum Building Height	3 stories or 45 feet	1 story <45'	C	1 story 11'	C
ACCESSORY USE STRUCTURE REQUIREMENTS					
Minimum Front Yard	25 feet	171.0'	C	171.0'	C
Minimum Side Yard	5 feet[1]	27.7'	C	27.7'	C
Minimum Rear Yard	3 feet, 10 feet[1]	2.9'	ENC	2.9'	ENC
Maximum Structure Coverage	25% of Rear Yard Req. or 750 sf. (lessor of 2)	12.4% of Rear Yard[2] 534 sf.	C	12.4% of Rear Yard[2] 534 sf.	C
Maximum Structure Height	10 feet	11.33'	ENC	11.33'	ENC

[1] On any corner lot no garage or other accessory building shall be constructed closer to the rear property line than 10 feet or nearer the side property line on the secondary street than the average setback line observed by primary structures fronting on such street, except that such distance need not exceed 40 feet.  
[2] Rear Yard at the 30' offset line = 4,304 sf.

STATUS:  
C = CONFORMS  
ENC = EXIST. NON-CONFORMING  
NCP = NON-CONFORMING PRIOR EXISTING

#### FLOOR AREAS & PARKING (ITE Parking Generation Rates)

USE	Units per Gross Floor Area	Building Use Gross Floor Area[1]	Peak Period # Spaces	EXISTING # SPACES	PROPOSED # SPACES
Exist. Take-Out Restaurant	8.2 per 1,000 gfa. [F. Food w/o Drive-Thru, Non-Hambr]	790 gfa.	6.48 Spaces	35+ Spaces (No ADA Spaces) Approx., no Lines	
Storage/Maintenance Building	0.75 per 1,000 gfa. [General Light Indust.]	470 gfa.	0.35 Spaces		
PROPOSED RETAIL BUILDING (1st FLOOR) MARI. DISPENSARY	2.2 per 1,000 gfa. [Pharmacy/Drugsstore w/o Drive Thru]	2,747 gfa.	6.04 Spaces		
TOTAL SPACES Required-Proposed			=12.87 Spaces 13 Spaces Required [3]		28 Spaces (3 ADA Spaces) CONFORMS

[1] Gross Floor Area determined from interior wall of exterior wall excluding stairwells.  
[2] Use unknown - Office building (Urban) 2.47 per 1,000 gfa. used  
[3] 3 Accessible Parking spaces to be included in total (1 is required) [Requirements 1-25 = 1 space, 26-50 = 2 spaces etc.]

#### NOTE:

§ 870-188 Additions and alterations to nonconforming building structures.  
A. Nothing in this article shall be deemed to prevent normal maintenance and repair, structural alteration in, or the reconstruction of, a nonconforming structure; provided that such action does not increase or extend the degree of, or create any new, nonconformity with regard to the regulations pertaining to such buildings or the lot upon which they are constructed; except that, the floor area of a detached single-family house that occupies a lot that is smaller than the minimum lot area required in the district in which such house is located may be increased by not more than 10% of the floor area existing as of the date of adoption of this chapter provided that the resulting structure complies with all other requirements of this chapter.  
B. Any existing structure on a nonconforming lot or an existing structure on a nonconforming lot which violates any yard requirements may have additions to the principal building and/or an accessory building may be constructed on such a lot without an appeal to the Zoning Board of Adjustment, provided that the total permitted building coverage is not exceeded and the accessory building and/or the addition to the principal building do not violate any other requirements of this chapter.

2.	3/25/25	Building Height	RSS	DJP
1.	9/23/24	Review Notes	RSS	DJP
REV.	DATE	DESCRIPTION	DWN BY	APP BY

IF THIS DOCUMENT DOES NOT CONTAIN THE RAISED SEAL OF THE UNDERSIGNED PROFESSIONAL, WITH AN INK SIGNATURE, IT IS NOT A VALID COPY OF THE SURVEY AND NO LIABILITY IS ASSUMED FOR THE INFORMATION SHOWN HEREON.

**PATTERSON SURVEYING & ENGINEERING, LLC**  
CERTIFICATE OF AUTHORIZATION #24GA28227000  
133 JACKSON ROAD, SUITE C  
MEDFORD, NJ 08055  
732-501-7192  
Don@PattersonSE.com  
www.PattersonSE.com

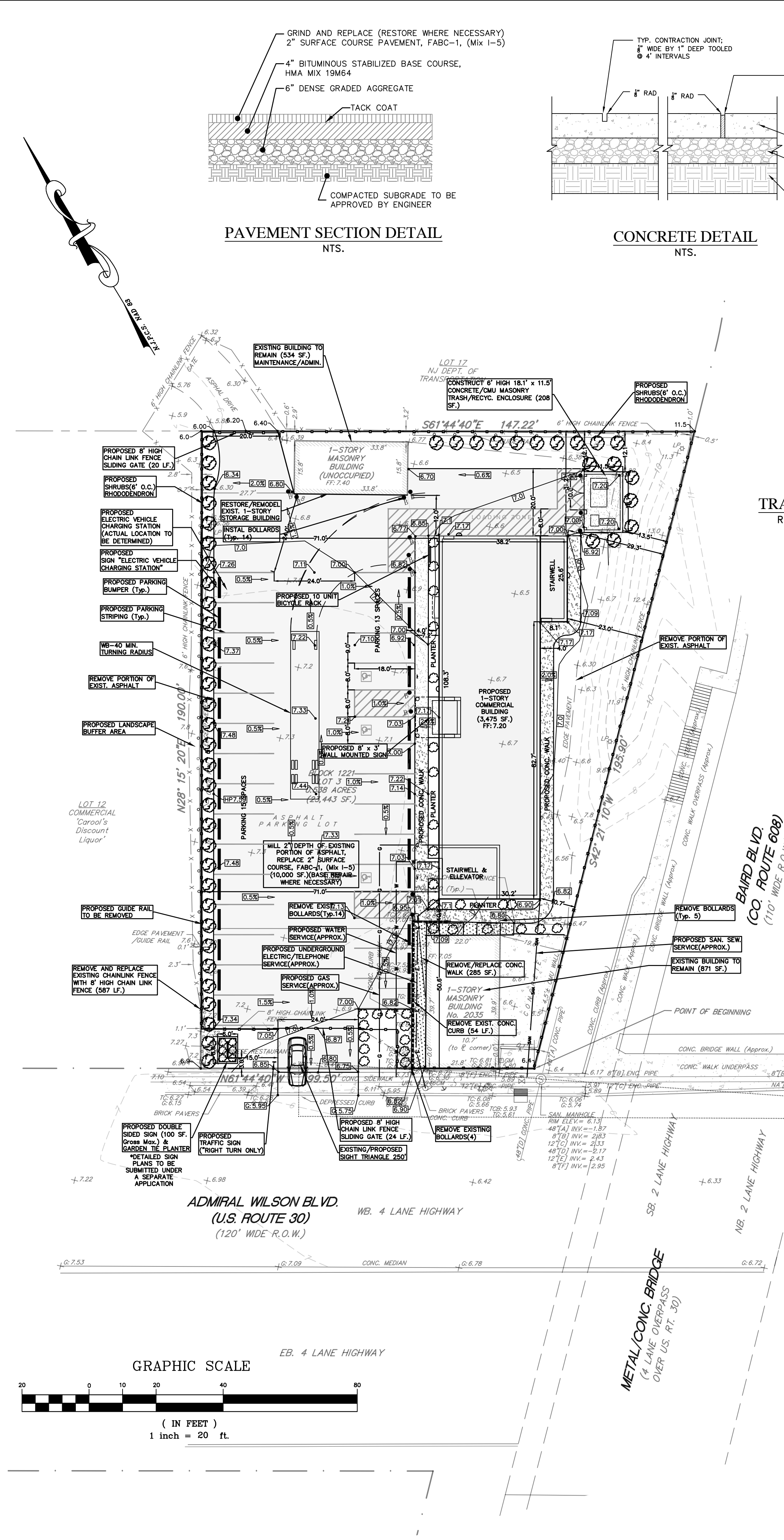
3/25/25  
DATE  
DANIEL J. PATTERSON, PELS  
NEW JERSEY PROFESSIONAL ENGINEER AND LAND SURVEYOR  
LICENSE NO. 24GB04257200

LOT(S): 3  
BLOCK: 1221  
SCALE: 1"=20'  
ACREAGE: 0.538

PRELIMINARY & FINAL MAJOR SITE PLAN  
BLOCK 1221 LOT 3  
2035 ADMIRAL WILSON BLVD.  
CITY CAMDEN  
CAMDEN COUNTY, N.J.

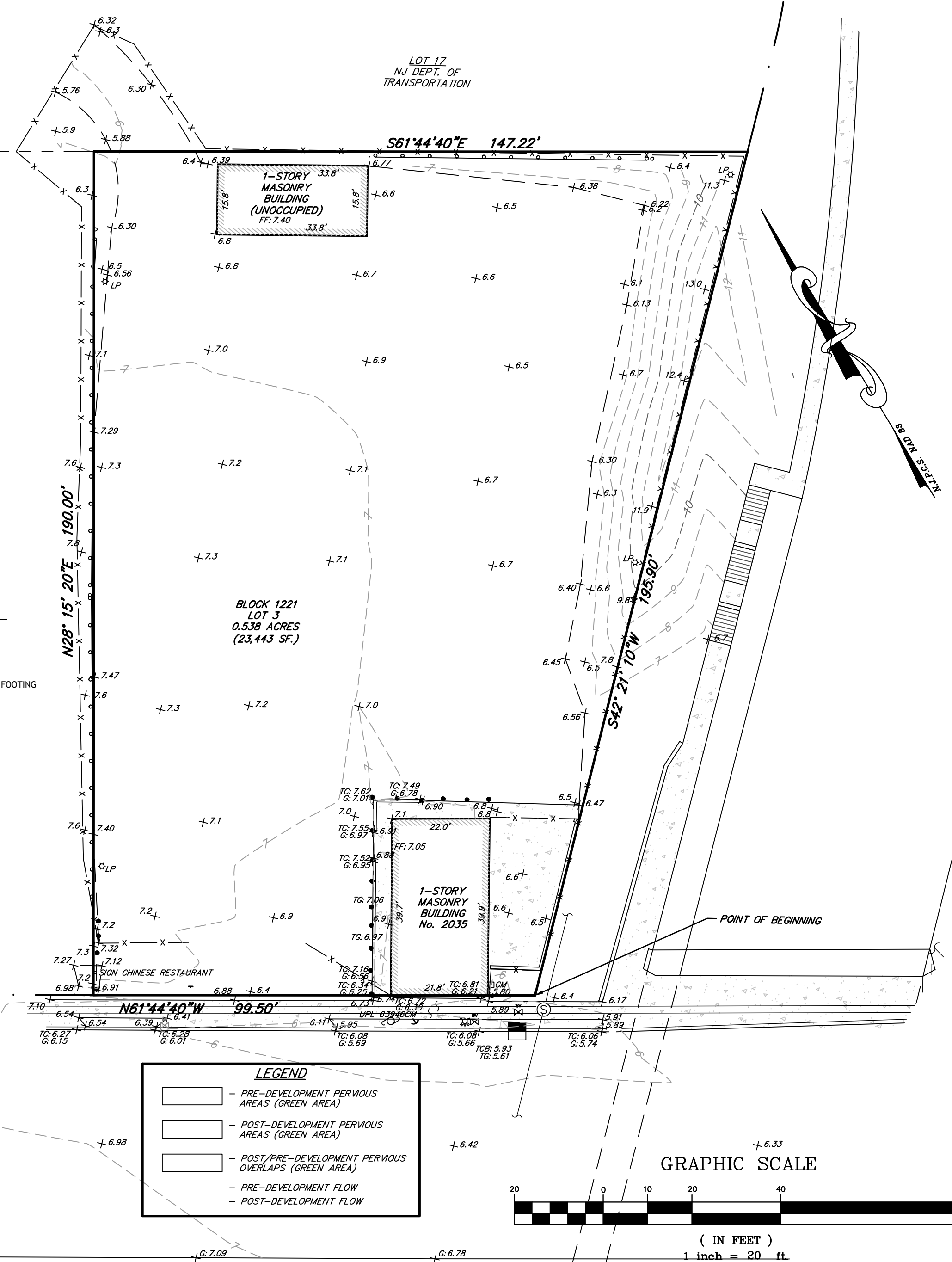
PREPARED FOR: BRITO INVESTMENTS, LLC.

DATE: 6/03/2024  
DRAWING NO: 2024-057 B221 L3  
CAMDEN SITE PLAN.dwg  
SHEET No. 1 OF 2



LEGEND	
	- SANITARY MANHOLE
	- STORM MANHOLE
	- STORM INLET
	- HYDRANT
	- WATER LINE
	- WATER VALVE
	- WELL OR WATER METER
	- GAS LINE
	- GAS VALVE
	- TELEPHONE LINE
	- ELECTRIC LINE
	- OVERHEAD WIRES
	- FENCE
	- FLAGPOLE
	- SIGN
	- UTILITY POLE
	- LIGHT POLE
	- MONITOR WELL
	- TEST PIT
	-11.3-- CONTOUR
	x 11.3 SPOT ELEVATION
	TC: 113.5 TOP OF CURB ELEVATION
	G: 113.0 CURB GUTTER ELEVATION
	[72] PROPOSED CONTOUR
	[113] PROPOSED SPOT ELEVATION





# LED LOW WATTAGE SITE LIGHTING SOLUTION



REPLACES UP TO 250W MH





**NOTE:  
ALL LIGHTING REQUIRES  
LIGHT SHIELDS**

9.25" x 4.5" x 2.5" Hx DxD  
10 LED

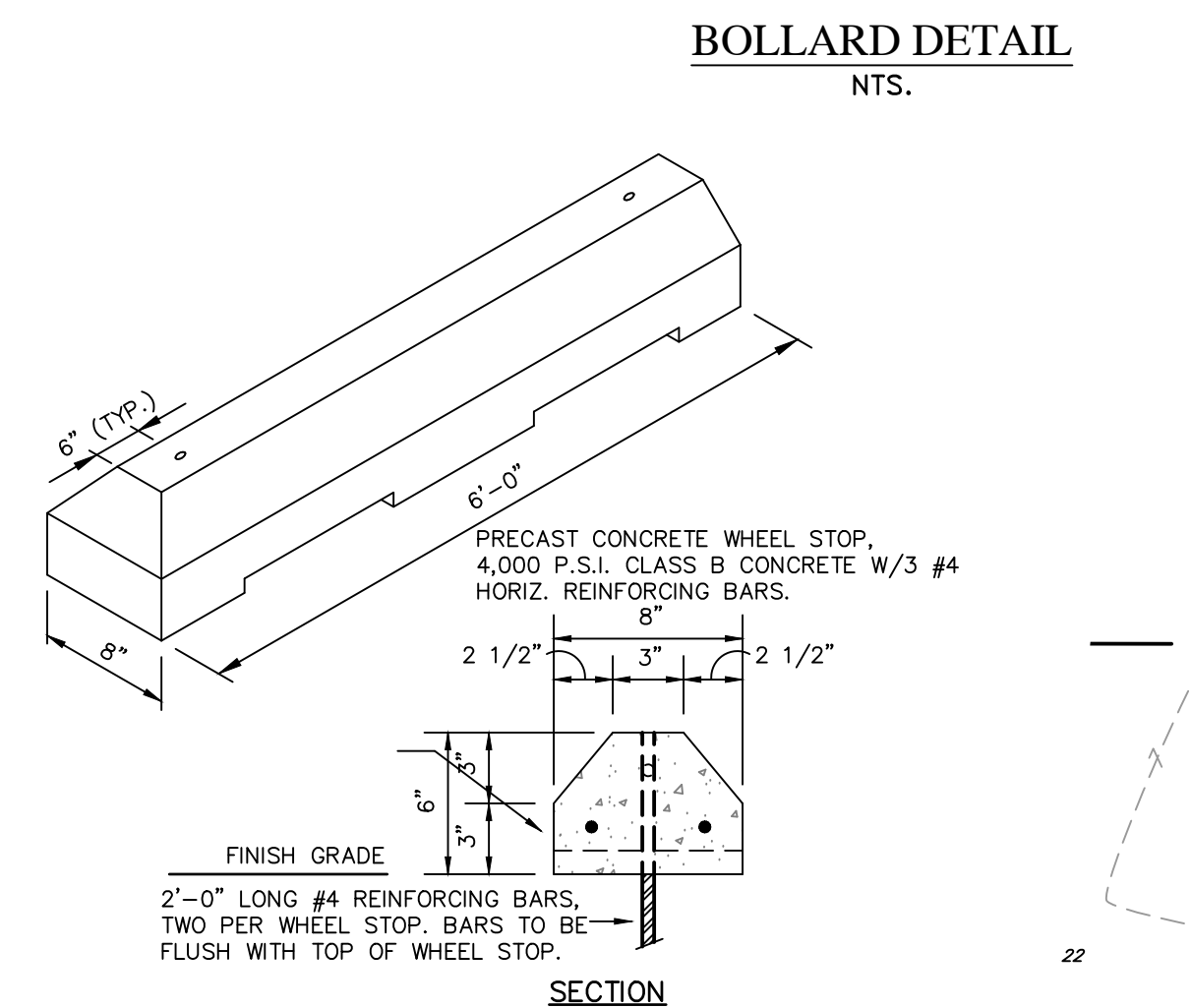
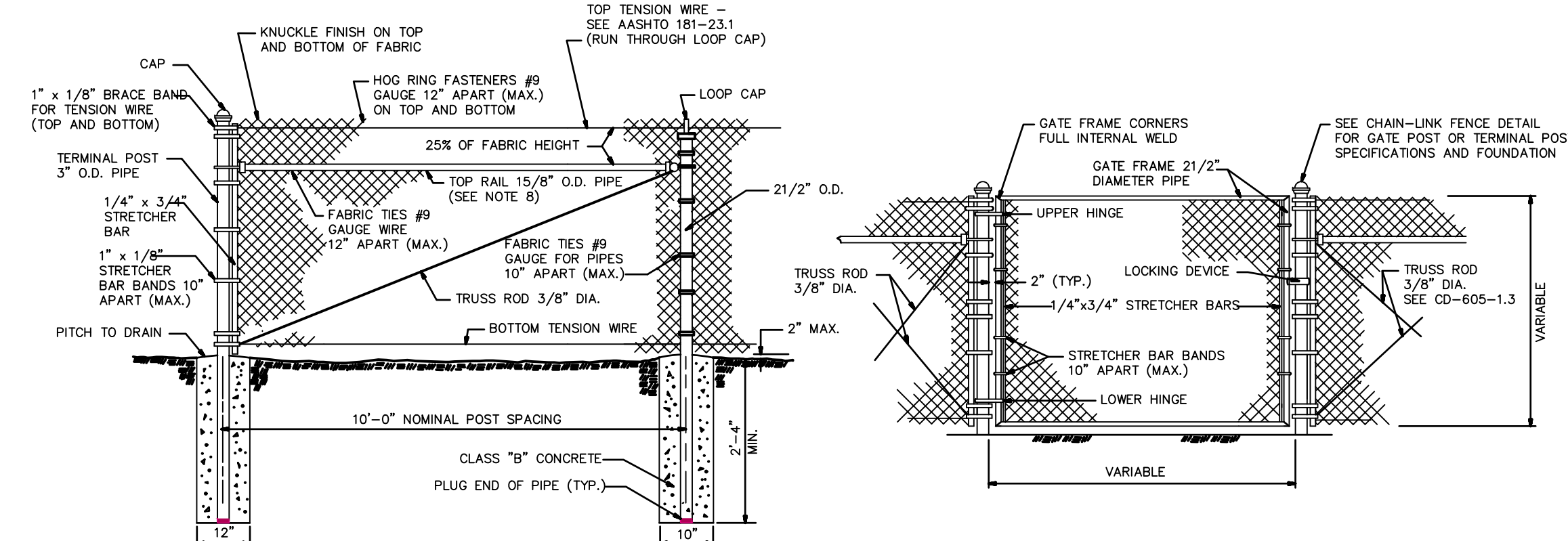
Design is Protected by  
U.S. Patent No. 7,072,744

Low Cost Option -  
Lower Mounting Heights

- Low Cost Option - Lower Mounting Heights
- Eliminates Glare & Offensiveness Light
- Less Wasted Light
- More Footcandles on the Ground
- Labor Saving: Quick and Secure Installation

### ORDERING INFORMATION

DESCRIPTION	WATTAGE	1" MOUNTING	5 1/4" W	5" CR	12" CR	ADJ. MOUNT	1/4" X 1/2"	1 1/2" X 1/2"	1 1/2" X 1/2"
PLA-MLED-01	5.334	43 WATT LED	133	82	4500K	0-10V	120-277V	127T - 147T	
PLA-MLED-02	5.382	43 WATT LED	133	81	3000K	0-10V	120-277V	127T - 147T	
PLA-MLED-03	7.084	43 WATT LED	131	84	4500K	0-10V	120-277V	127T - 147T	
PLA-MLED-04	7.636	43 WATT LED	125	81	3000K	0-10V	120-277V	127T - 147T	





**DLC**  
SLEDGE  
CERTIFIED

**UL**  
E

**NOTE:**  
ALL LIGHTING REQUIRES  
LIGHT SHIELDS

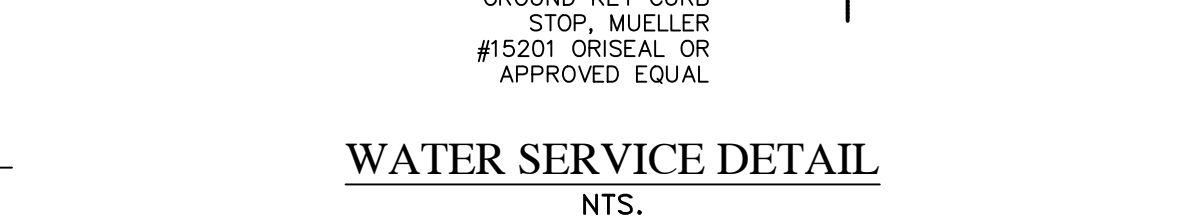
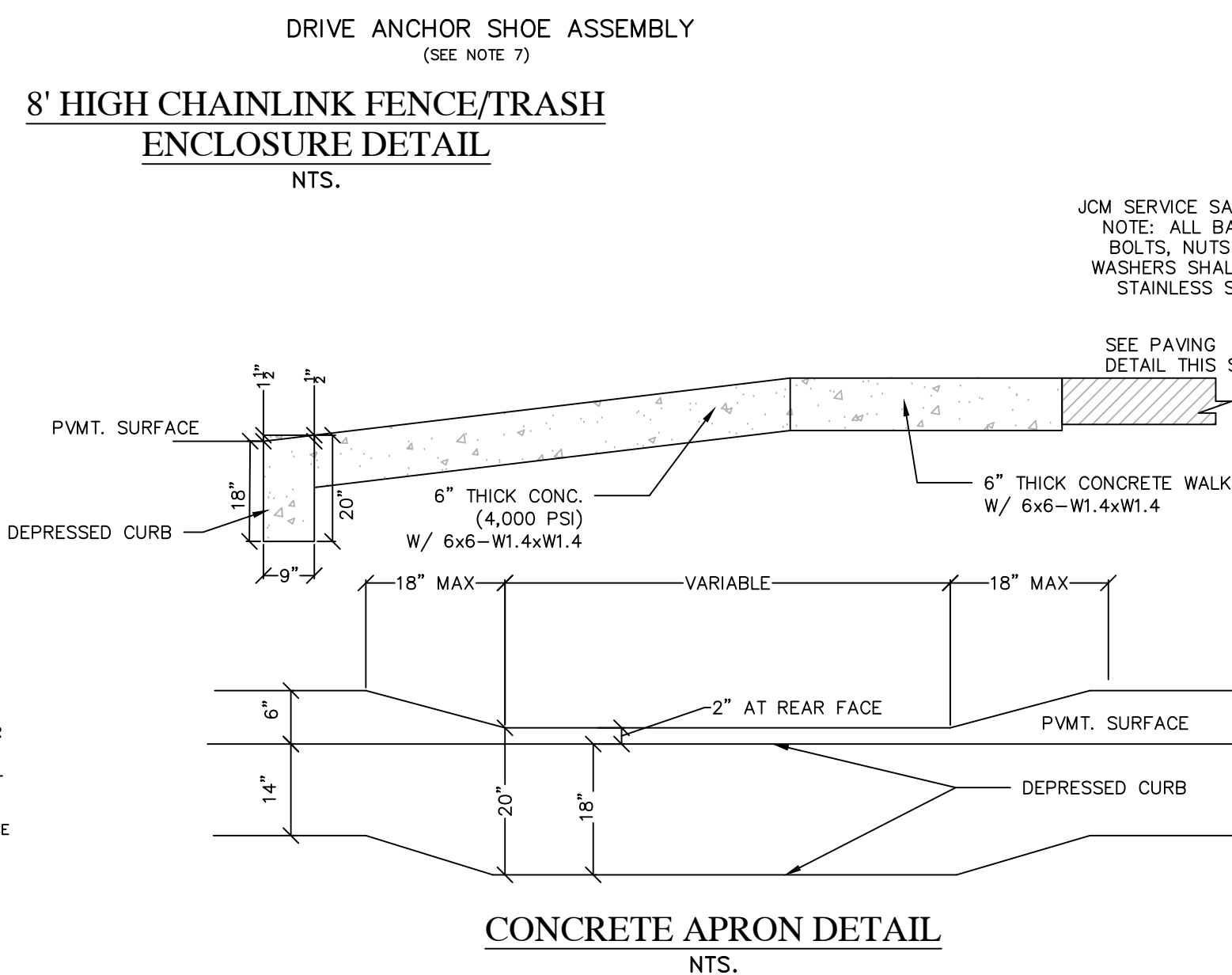
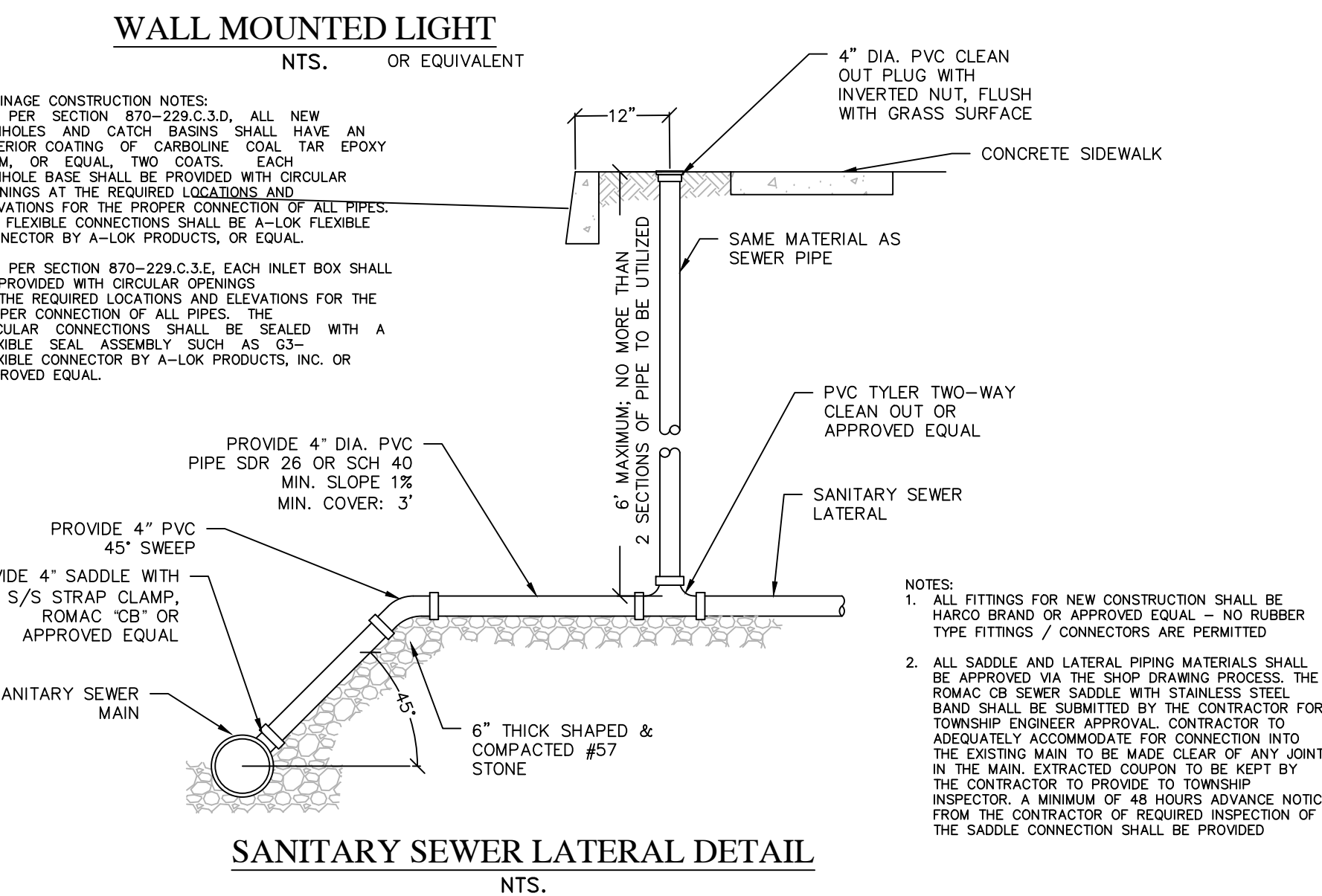
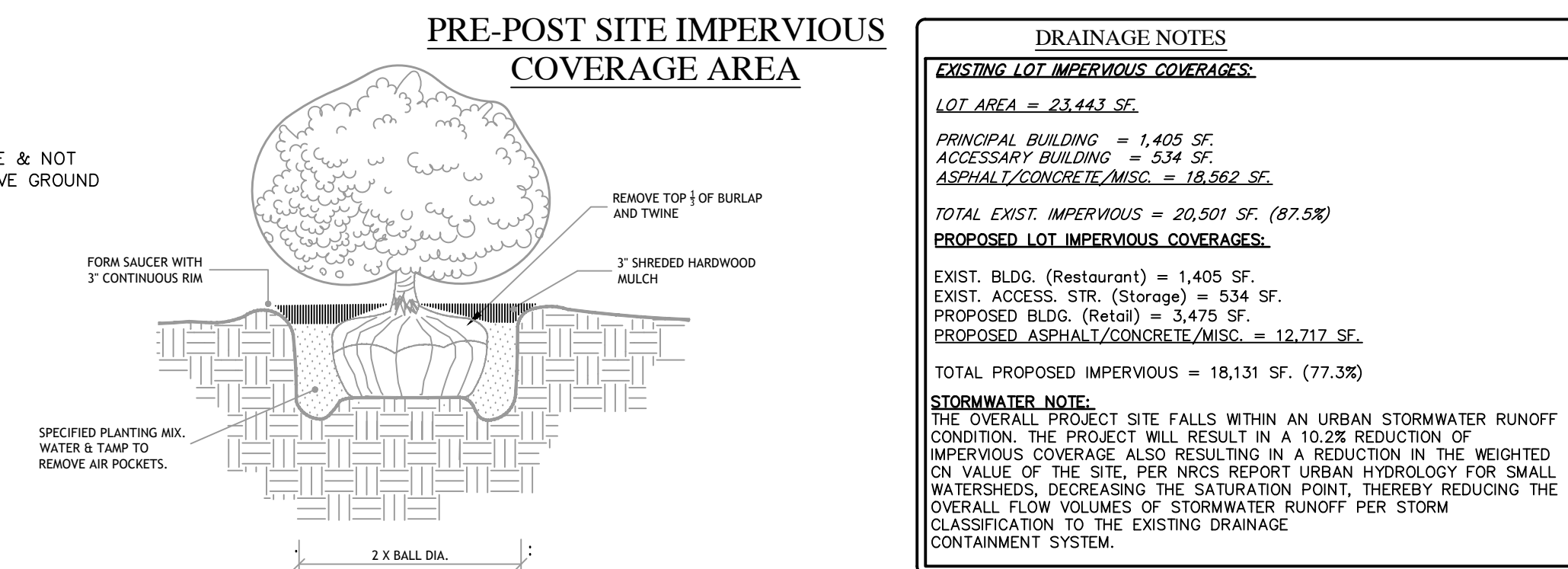
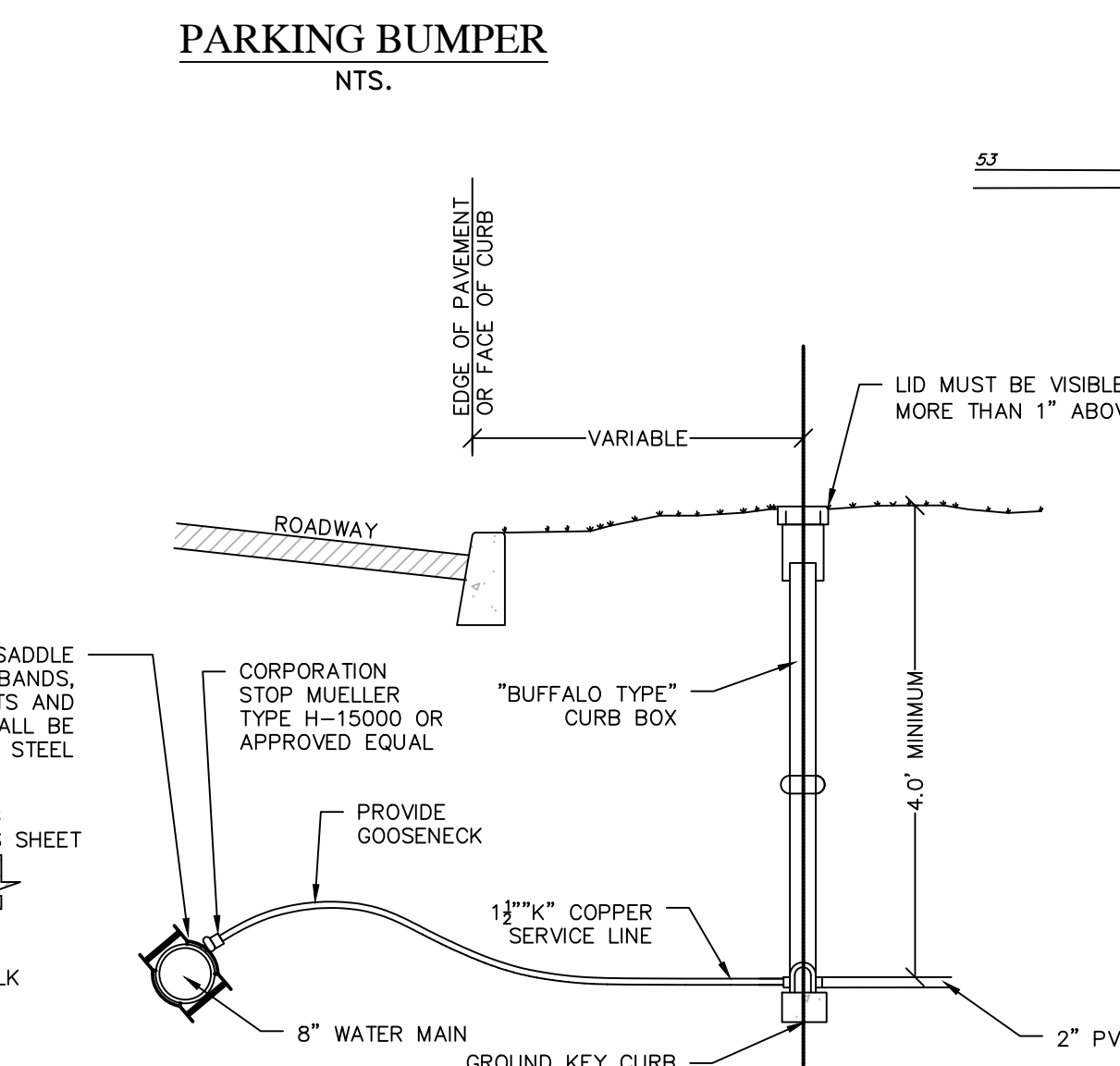
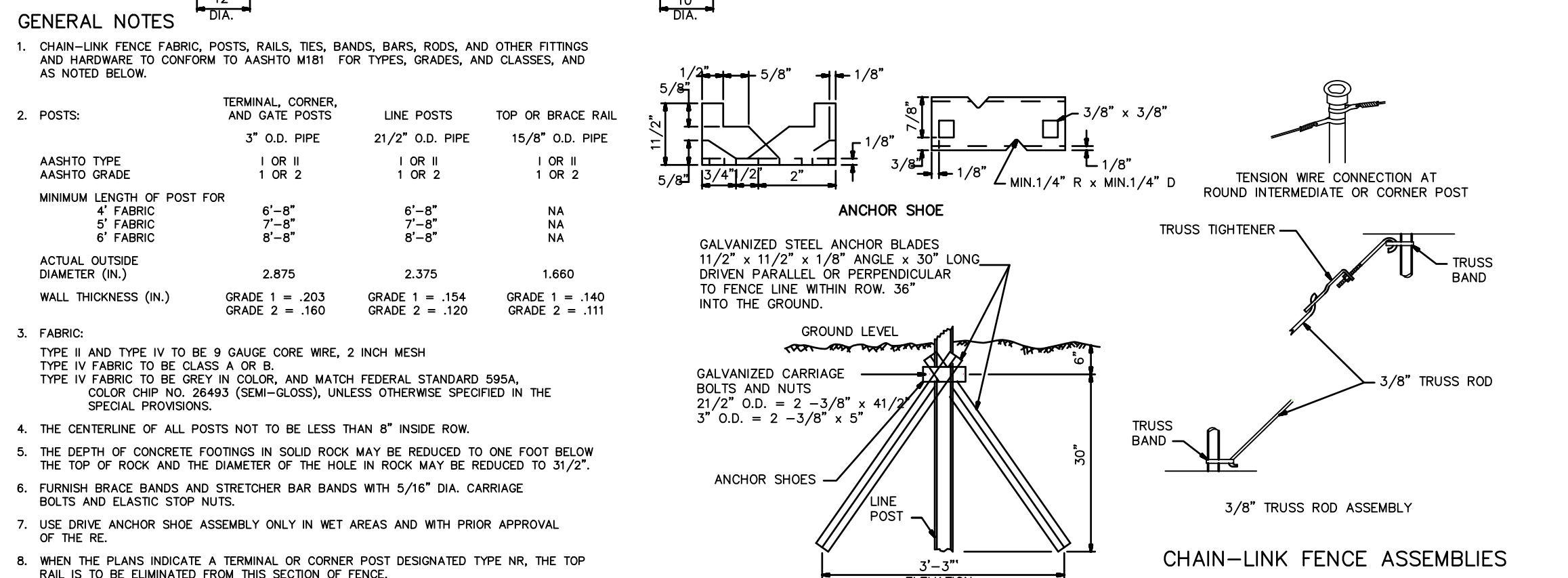
Model	Watts	Lumens	Volts	Color Temp.
ORWPL10L4K	99	15,797	120-277	4000K


**PROJECT INFORMATION**

MODEL #: ORWPL10L4K  
UPC #: 700386238910

**Large Wall Pack**

**origin**  
BY AELAS  
LIGHTING



<p>IF THIS DOCUMENT DOES NOT CONTAIN THE RAISED SEAL OF THE UNDERSIGNED PROFESSIONAL, WITH AN INK SIGNATURE, IT IS NOT A VALID COPY OF THE SURVEY AND NO LIABILITY IS ASSUMED FOR THE INFORMATION SHOWN HEREON.</p>	<p><b>PATTERSON SURVEYING &amp; ENGINEERING, LLC</b></p> <p>CERTIFICATE OF AUTHORIZATION #24GA28227000</p> <p>133 JACKSON ROAD, SUITE C MEDFORD, NJ 08055 732-501-7192 Don@PattersonSE.com www.PattersonSE.com</p>	<p>PRELIMINARY &amp; FINAL MAJOR SITE PLAN</p> <p>BLOCK 1221 LOT 3</p> <p>2035 ADMIRAL WILSON BLVD. CITY CAMDEN CAMDEN COUNTY, N.J.</p>
<p><i>[Signature]</i> 9/23/24</p> <p><b>DANIEL J. PATTERSON, PELS</b> DATE NEW JERSEY PROFESSIONAL ENGINEER AND LAND SURVEYOR LICENSE NO. 24GB04257200</p>	<p></p> <p>LOT(S): 3</p> <p>SCALE: 1"=20'</p> <p>BLOCK: 1221</p> <p>ACREAGE: 0.538</p>	<p>PREPARED FOR: BRITO INVESTMENTS, LLC.</p> <p>DATE: 6/03/2024</p> <p>PATTERSON NO. 2024-057</p> <p>DRAWING NO: 2024-057 B221 L3 CAMDEN SITE PLAN.dwg</p> <p>SHEET No. 2 OF 2</p>



CannaBista

RECREATIONAL  
CANNABIS STORE

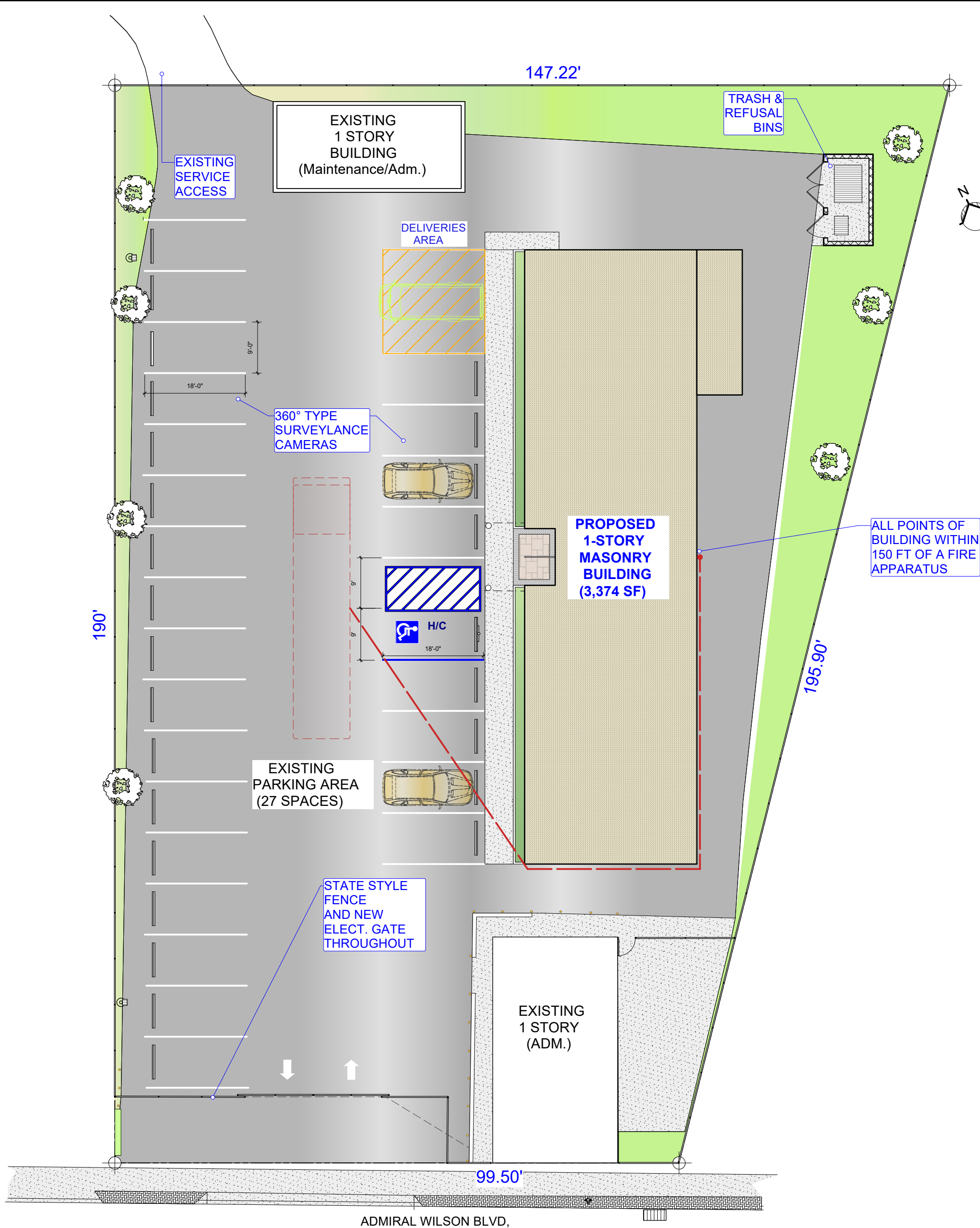
2035 Admiral Wilson Boulevard  
(US ROUTE 30)  
City of Camden, Camden County  
New Jersey



EXISTING EXTERIOR AERIAL VIEW (ADMIRAL WILSON BLVD.)



EXISTING EXTERIOR VIEW (ADMIRAL WILSON BLVD.)



ZONING INFORMATION

BLOCK: 1221 LOT: 3

ZONING: Commercial (C-4)

SCOPE OF WORK

The Owner proposes a building addition footprint on an existing paved parking lot to locate a Retail Store, and all associated improvements to existing property access, parking facilities, and property fencing.

SITE COVERAGE: Lot 3.....23,438.69 SF (99.50' x 190') \*Irregular shape (0.54 Acre)

BUILDING ADDITION SIZE (Footprint): 3,374 SF (108'-3" x 34'-4")

BUILDING COVERAGE

	Existing/Proposed
FIRST FLOOR (Proposed Cannabis Retail Store)	3,000 SF

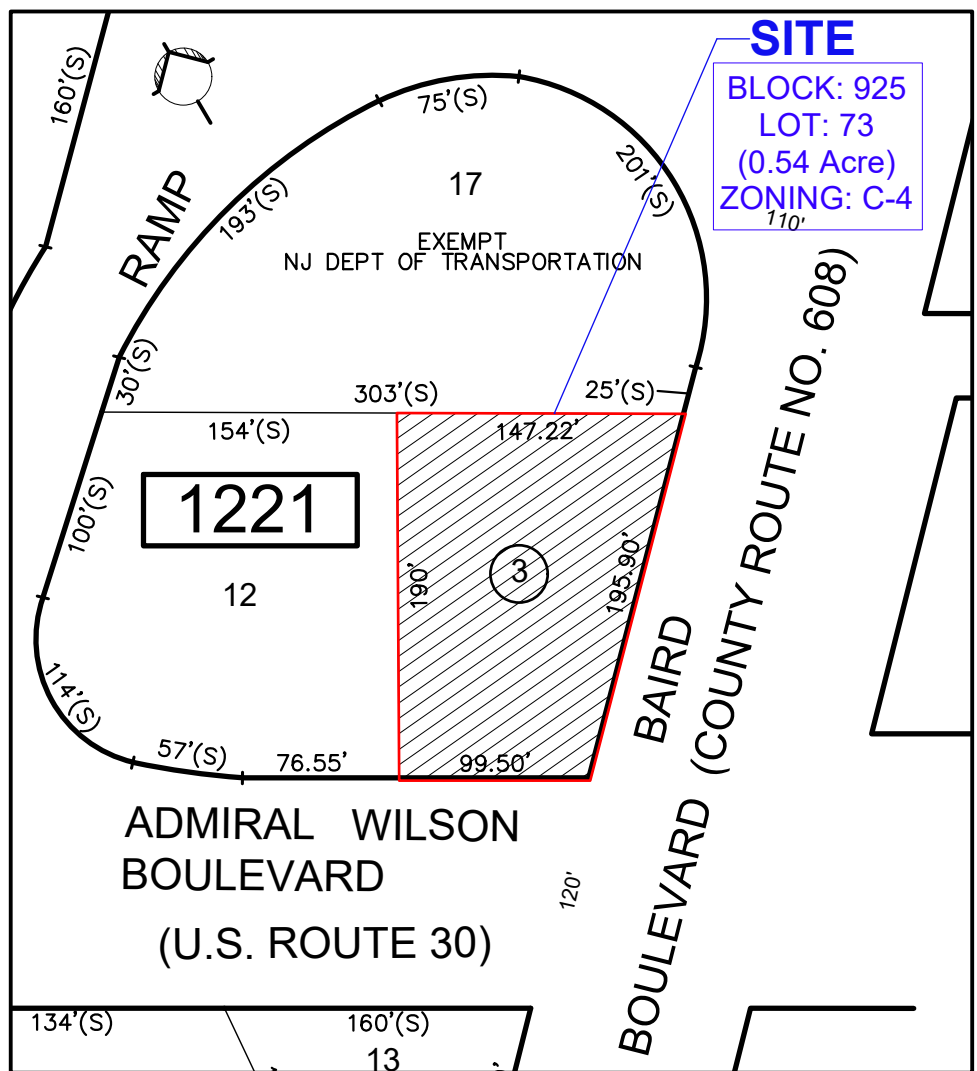
RETAIL STORE BUILDING HEIGHT: 1 STORY BUILDING (13'-10")

OFF-STREET PARKING REQUIREMENTS (EXISTING/PROPOSED)

- a. Existing Front Buildign-Administration (Former Take-Out Restaurant).....4 Spaces  
b. Retail Building Addition (3,000 SF Gross Space).....15 Spaces

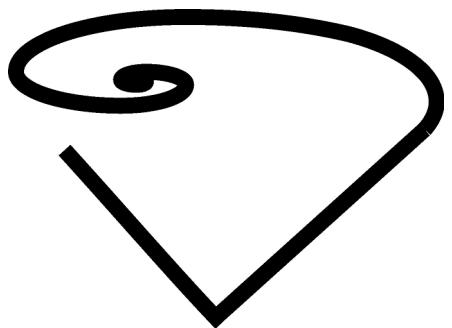
Total.....19 Spaces

\*Off-Street Parking Existing/Proposed.....27 SPACES



PLOT & VICINITY MAP  
Scale: 1" = 100'-0"

SOURCE: TAX MAP  
CITY OF CAMDEN, 2018



ARCHITECTURAL  
DESIGN  
STUDIO

Design Firm:

El Donaldo F. Vid, AI  
Architect, AIA

c/o PO Box 1571  
Camden, New Jersey  
[08105]

856-278-0057  
vidalArchitect@gmail.com

Prepared for:

Project Title:

CANNABISTA BUILDING  
BUILDING ADDITION  
ZONING PLAN  
2035 Admiral Wilson Blvd.  
Camden, New Jersey

Revision No. & Day

Description

Sheet Title:

PLOT PLAN  
& ZONING INFORMATION

Scale: As Noted

Drawing No:

ZP-1

1 of 3 Total Sheets

Drawing Day:

7th of March, 2025

Project ID:

EDV-C-98-23

CAD File Name:

CAD-EDV-98-23

Drawn by:

Check by:

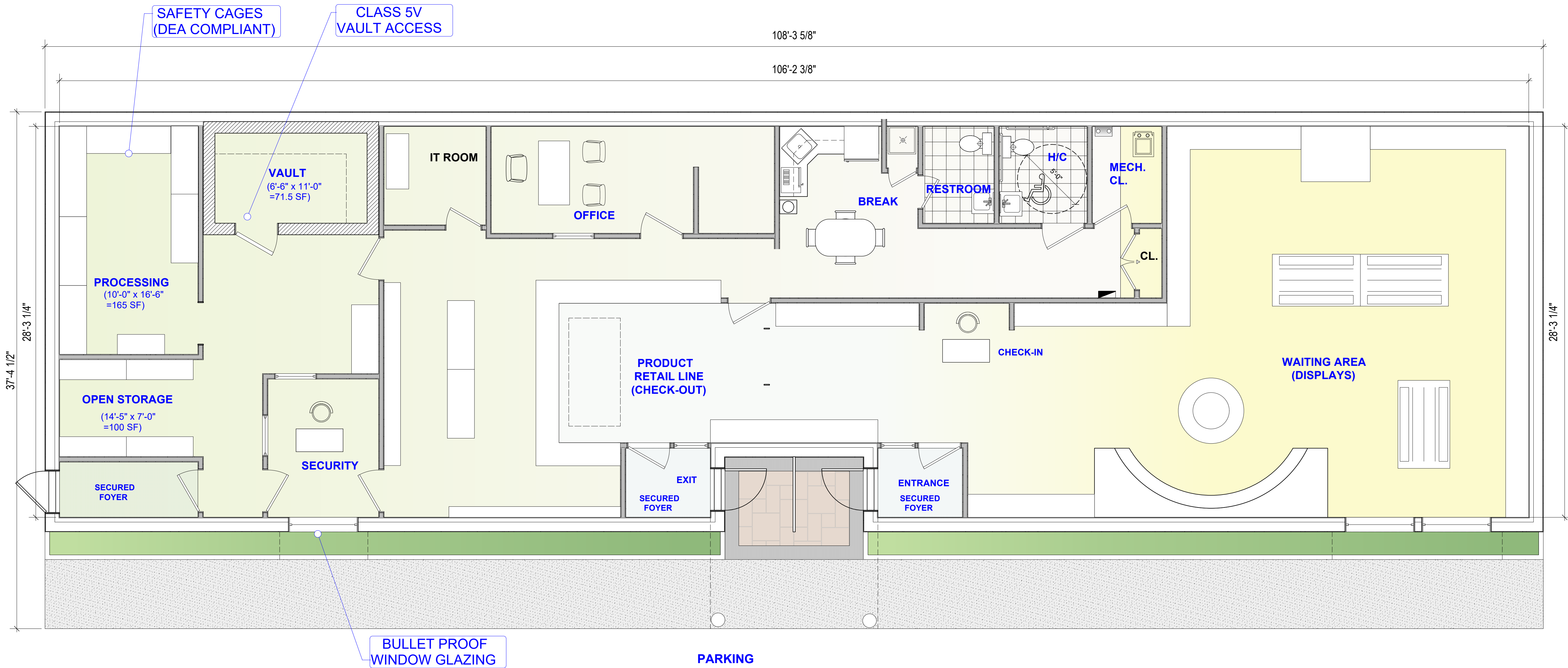
EDFV

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

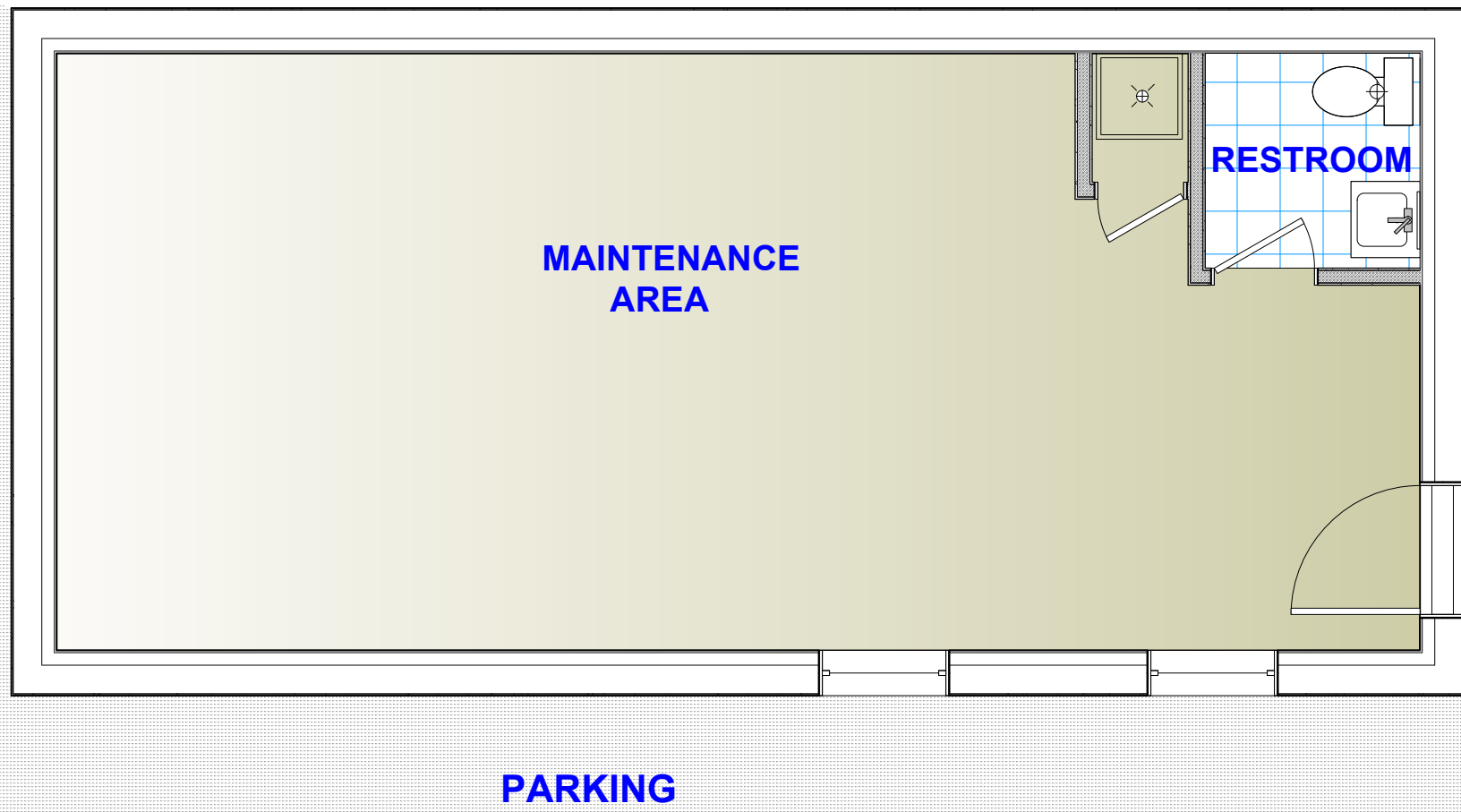
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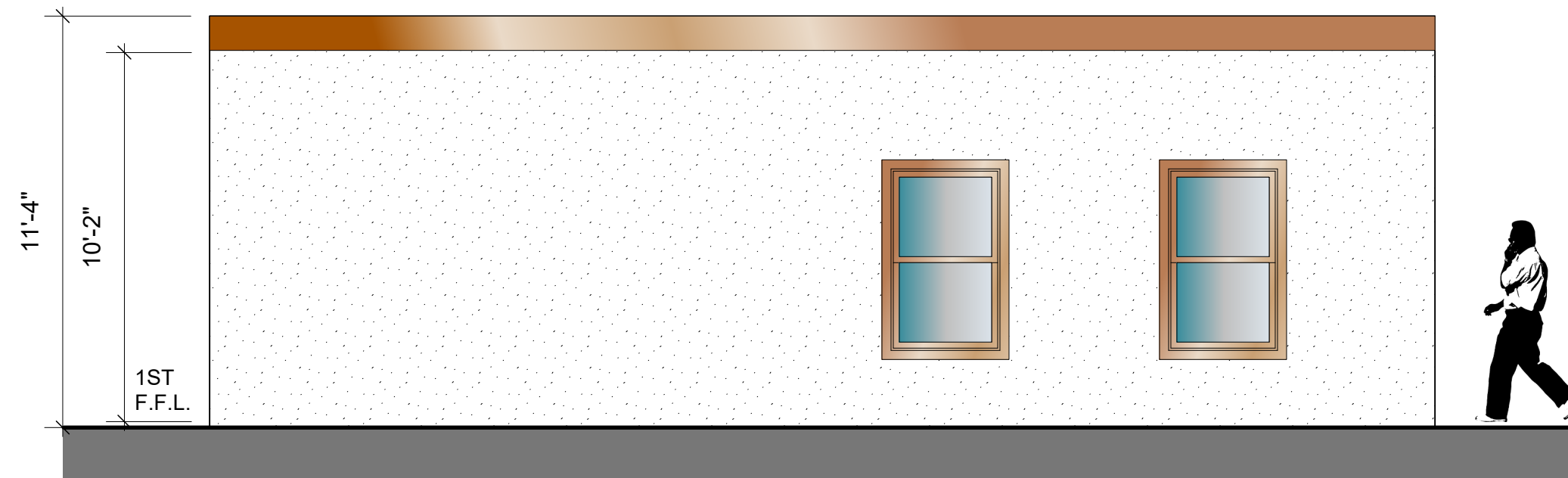




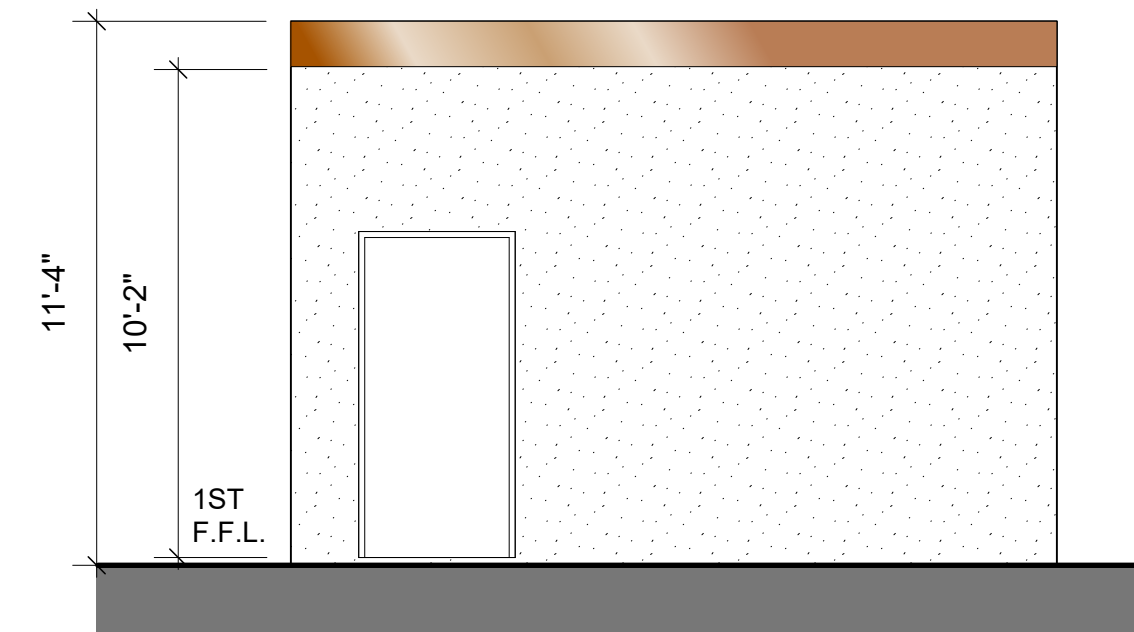
PROPOSED STORE FIRST FLOOR (3,000 SF)  
Scale: 1/4" = 1'-0"



PROPOSED MAINTENACE FLOOR PLAN (440 SF)  
Scale: 1/4" = 1'-0"

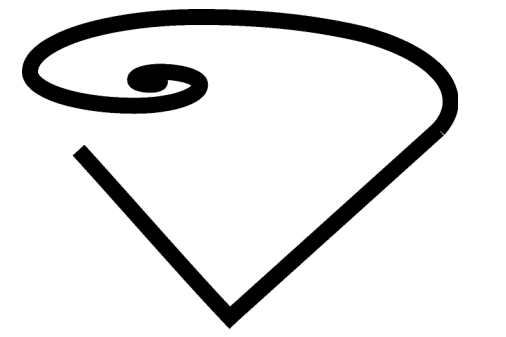


FRONT



RIGTH SIDE

PROPOSED MAINTENACE BLDG. ELEVATIONS  
Scale: 1/4" = 1'-0"



ARCHITECTURAL  
DESIGN  
STUDIO

Design Firm:

El Donaldo F. Vid, AI  
Architect, AIA

c/o PO Box 1571  
Camden, New Jersey  
[08105]

856-278-0057  
vidalArchitect@gmail.com

Prepared for:

Project Title:

CANNABISTA BUILDING  
BUILDING ADDITION  
ZONING PLAN  
2035 Admiral Wilson Blvd.  
Camden, New Jersey

Revision No. & Day

Description

Sheet Title:

FLOOR PLANS

Scale: As Noted

Drawing No:

ZP-2

2 of 3 Total Sheets

Drawing Day:

7th of March, 2025

Project ID:

EDV-C-98-23

CAD File Name:

CAD-EDV-98-23

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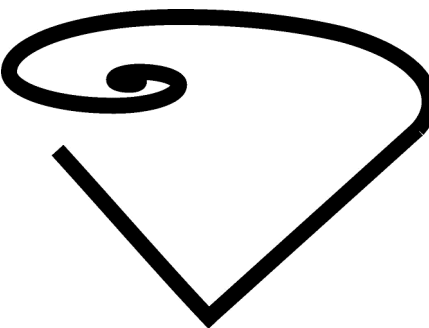
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ARCHITECTURAL  
DESIGN  
STUDIO

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vidalArchitect@gmail.com

Prepared for:

Project Title:

CANNABISTA BUILDING ADDITION  
ZONING PLAN  
2035 Admiral Wilson Blvd.  
Camden, New Jersey

Revision No. & Day	Description

Sheet Title:

ELEVATIONS

Scale: As Noted

Drawing No: ZP-3  
3 of 3 Total Sheets

Drawing Day: 7th of March, 2025

Project ID: EDV-C-98-23

CAD File Name: CAD-EDV-98-23

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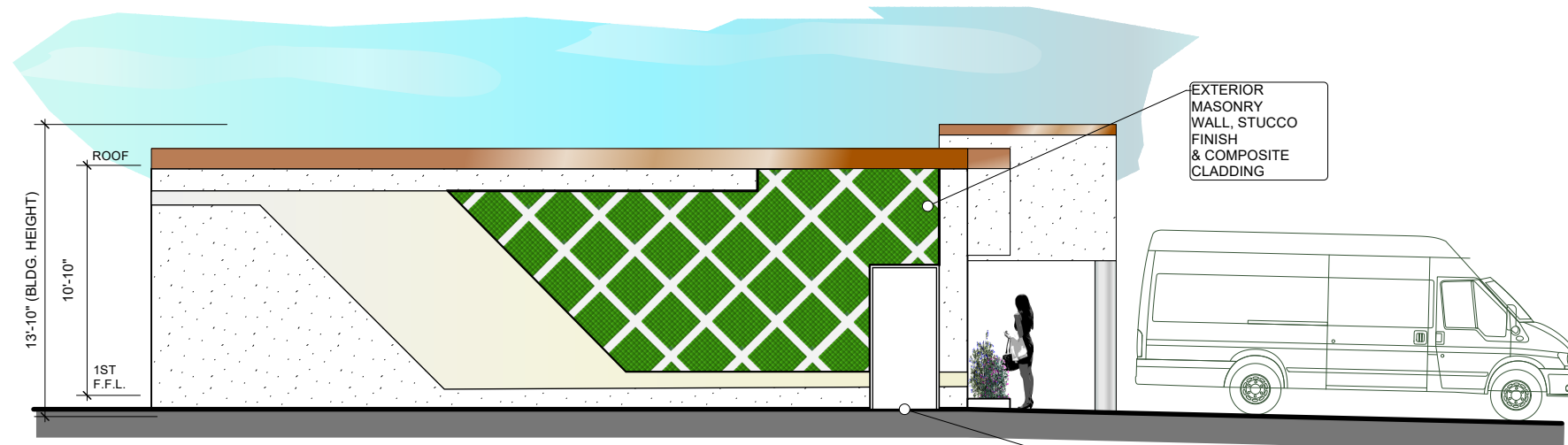
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AI 14152



PROPOSED STORE FRONT ELEVATION (PARKING AREA)  
Scale: 1/4" = 1'-0"

STORE SIGN (NOT INCLUDED  
IN THIS APPLICATION)  
7'6" FT x 3' FT (24 SF)  
11.8 FT HIGH

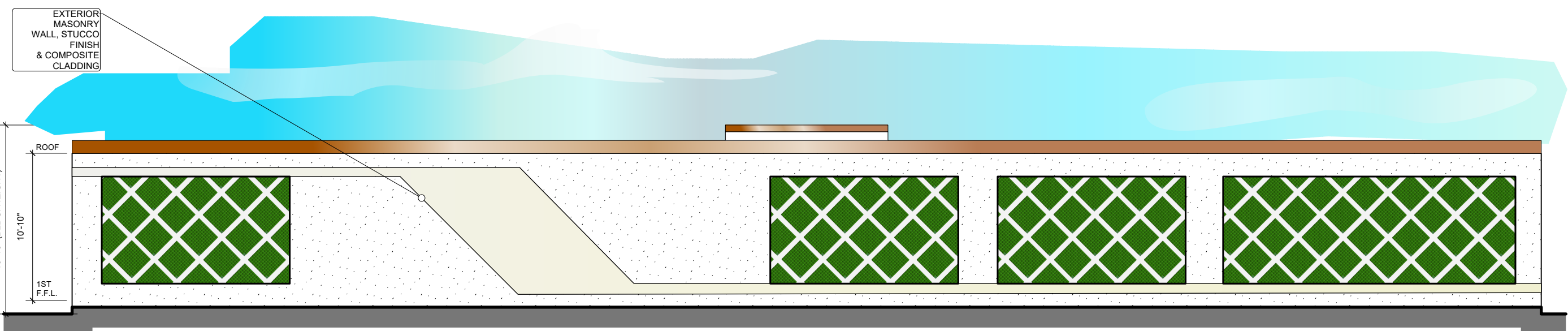
EXTERIOR  
MASONRY  
WALL, STUCCO  
FINISH  
& COMPOSITE  
CLADDING



PROPOSED STORE LEFT ELEVATION  
Scale: 1/4" = 1'-0"

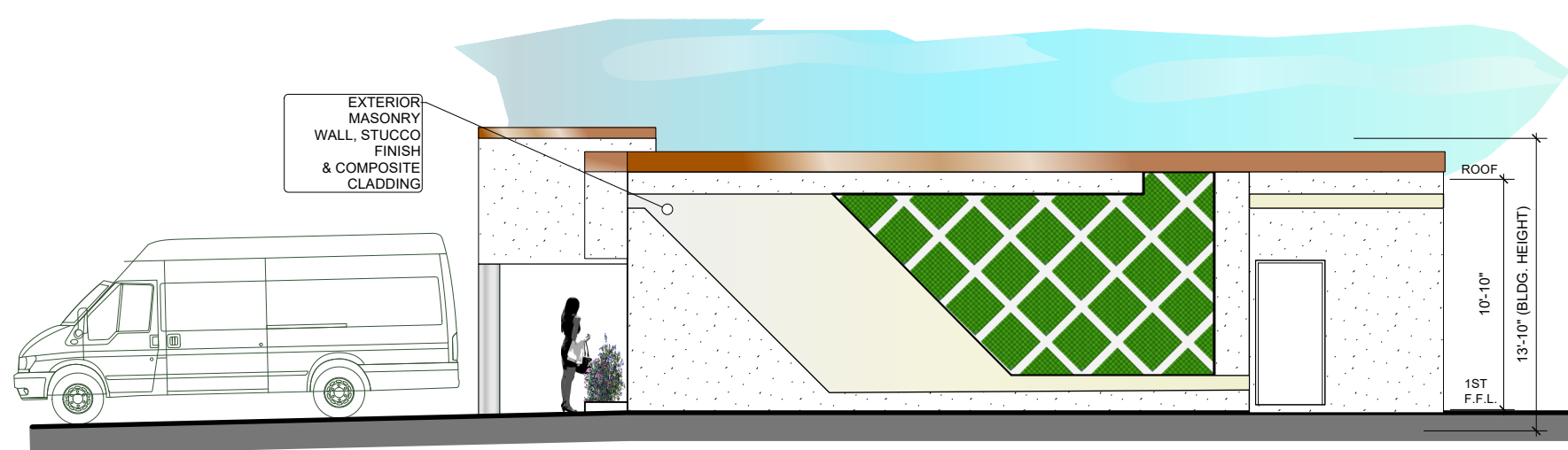
DELIVERIES  
SECURITY  
DOOR

EXTERIOR  
MASONRY  
WALL, STUCCO  
FINISH  
& COMPOSITE  
CLADDING



PROPOSED STORE REAR ELEVATION  
Scale: 1/4" = 1'-0"

EXTERIOR  
MASONRY  
WALL, STUCCO  
FINISH  
& COMPOSITE  
CLADDING



PROPOSED STORE RIGHT ELEVATION  
Scale: 1/4" = 1'-0"

EXTERIOR  
MASONRY  
WALL, STUCCO  
FINISH  
& COMPOSITE  
CLADDING





DEPARTMENT OF PLANNING & DEVELOPMENT  
**CITY OF CAMDEN**  
NEW JERSEY

VICTOR CARSTARPHEN  
MAYOR

RECEIVED  
OCT 10 2024  
NDG LEGAL  
DR. EDWARD C. WILLIAMS, PP, AICP, CSI  
Division of Planning & Zoning  
TEL: (856) 757-7214

October 8, 2024

Michael J. Lario, Jr.  
C/o Cannabista, LLC  
4030 Ocean Heights Avenue  
Egg Harbor Twp., NJ 08234

Re: 2035 Admiral Wilson Blvd

Dear Sir/Madam:

Attached please find a copy of the Resolution adopted by the Zoning Board at its meeting of October 7, 2024, memorializing the Granting of Use Variance and Site Plan Approval for cannabis retail and new construction.

Sincerely,

Evita Muhammad  
Zoning Board Secretary

**RESOLUTION OF THE CITY OF CAMDEN ZONING BOARD OF ADJUSTMENT**

**APPLICANT: CANNABISTA, LLC  
2035 ADMIRAL WILSON BOULEVARD  
BLOCK 1221, LOT 3**

**CITY OF CAMDEN, NEW JERSEY**

**Use Variance, Conditional Use Variance, Bulk Variances and Preliminary and Final Site  
Plan Approval**

**DATE OF ACTION: SEPTEMBER 9, 2024**

**WHEREAS**, the Applicant, Cannabista, LLC (the “Applicant”), has filed an application for use variance approval, bulk variance approvals and preliminary and final site plan approval associated with the proposed plan to construct a 3-story multi-tenant commercial building with a retail cannabis dispensary on the first floor and commercial uses on the second and third floors (the “Application”) at the property located at 2035 Admiral Wilson Boulevard, Camden, New Jersey (the “Property”); and

**WHEREAS**, the Applicant is requesting use variance approval for multiple uses on the same lot, bulk variances, as well as preliminary and final site plan approval as more fully described below; and

**WHEREAS**, the Property is located in the C-4 Commercial Zoning District; and

**WHEREAS**, the Application was heard by the City of Camden Zoning Board of Adjustment on September 9, 2024; and

**WHEREAS**, public notice of the hearing was provided in accordance with the requirements of Municipal Land Use Law, N.J.S.A. 40:55D-12; and

**WHEREAS**, the Applicant is requesting use variance approval and preliminary and final site plan approval, with bulk variances and design exceptions associated therewith:

1. Use Variance Approval d(1) and d(3). The Applicant proposes to construct the new building on the same lot as an existing 1-story commercial building that contains a pre-existing restaurant.

2. Site Plan. The Applicant seeks preliminary and final site plan approval and the following bulk variances appurtenant thereto:

- a. From Ordinance Section 870-38.K(1) for number of parking spaces;
  - b. From Ordinance Section 870-81 for side yard setback;
  - c. From Ordinance Section 870-189.G for maximum accessory height;
  - d. From Ordinance Section 870-197.F for Fence height;
  - e. From Ordinance Section 870-230.F for number of parking spaces;
  - f. From Ordinance Section 870-241.C for sidewalks;
  - g. From Ordinance Section 870-243.A(10) for footcandle beyond 10 feet of property line;
- and

- h. From Ordinance Section 870-253.O(13)(c) for freestanding sign setback.

The Applicant also seeks the following design exception:

- a. From Ordinance Section 870-255.A(2)(f) for year-round screening.

**WHEREAS**, in support of the Application, the Applicant has submitted the following, which information was reviewed by the Zoning Board Professionals for conformance with the Zoning Ordinance:

1. Submittal Letter dated June 21, 2024;
2. Zoning compliance letter for class 5 retail cannabis license dated March 29, 2023;
3. Zoning permit denial letter dated February 3, 2023;
4. Site Plan Application dated May 29, 2024;
5. Commercial Lease Agreement dated January 27, 2024;
6. Resolution MC-23 of Support for an Application for a Recreational Cannabis Retail License Submitted by Cannabista, LLC approved May 16, 2023;
7. Site Plan dated June 3, 2024, and prepared by Daniel J. Patterson, P.L.S., Patterson Surveying & Engineering, LLC;
8. Control Plans consisting of two (2) sheets dated June 3, 2024 and prepared by Daniel J. Patterson, P.L.S., Patterson Surveying & Engineering, LLC;
9. Pilot Plans & Zoning Information, Floor Plans and Elevations dated May 8, 2024 prepared by El Donaldo F. Vid, Al, Architectural Design Studio.; and
10. All documents submitted by the Applicant during the meeting.

**WHEREAS**, the Applicant's representatives and the Applicant's professionals appeared in support of the Application. The names and addresses of the Applicant's professionals and representatives are more accurately set forth on the record.

**WHEREAS**, the Zoning Board made its decision in this matter based on the documentation and exhibits set forth above, the testimony of the Applicant's representatives and professionals made at the time of the hearing, and upon each of the following:

1. The comments of the City of Camden Zoning Board Engineer made at the time of the hearing and in her review letter dated July 25, 2024; and
2. The comments of the City of Camden Zoning Board professional staff made at the time of the hearing.

**WHEREAS**, based upon the above, the Board finds as follows:

1. The Applicant was represented by Michael J. Lario, Jr., Esquire of Nehmad Davis & Goldman, PC. The Applicant presented the testimony of the Applicant's representative, Jose Brito Bueno. The Applicant also presented the testimony of its professionals: Daniel Patterson, professional engineer; El Donaldo F. Vid, Al, AIA; Mark Remsa, professional planner; and Sean Brown, cannabis consultant, all of whom were accepted as experts in their respective fields. Counsel provided the Board an overview of the proposed project, which is the construction of a

new 3-story commercial building with a cannabis dispensary on the first floor and unspecified commercial uses on the second and third floors at the Property, which currently has an existing 1-story commercial building that will remain on the lot. Counsel advised that the Applicant is seeking a d(1) use variance due to the multiple proposed uses, as well as a d(3) conditional use variance for the cannabis dispensary. Counsel advised the Board that the Applicant had obtained a recommendation of the City of Camden Cannabis Review Committee for a class 5 retail license. Counsel advised that the Applicant agrees, as a condition of approval, to come back to the Board for use variances once tenants are specified for the second and third floors of the proposed building.

2. The Applicant's professionals addressed in detail the Zoning Board Engineer's review letter on the record to the satisfaction of the Zoning Board and Zoning Board Engineer.

3. Mr. Brito Bueno testified that he is the principal of the Applicant. Mr. Brito Bueno testified that he has been working with the City in order to obtain the cannabis license and to develop the Property for use as a dispensary. Mr. Brito Buena testified that he retained Mr. Brown's services as a consultant to assist in that process.

4. Mr. Brown testified to his credentials and his experience in assisting applicants to obtain retail cannabis licenses. Mr. Brown testified regarding the status of the Applicant's licensure applications and regulatory permitting. Mr. Brown identified the Resolution of Support adopted by the City and same was entered into evidence. Mr. Brown testified to the proposed operations and the strict regulations regarding same. Mr. Brown testified that traffic to the site would be limited and customers would not be spending more than 20 minutes on site. It was Mr. Brown's opinion that the proposed parking spaces would be sufficient for the proposed use and the existing take-out restaurant currently on site. Mr. Brown testified that the Applicant anticipates having 15 total employees, with 6 or 7 working per shift. Mr. Brown testified to the security requirements, including cameras that are monitored by the police and the CRC as well as on-site armed security guards. Mr. Brown also testified that the Applicant has been in contact with the local police to establish a security plan for the site. Mr. Brown testified that trash at the site will be limited and that all cannabis related trash requires specific disposal that is handled by specialty waste services.

5. Mr. Remsa, the Applicant's professional planner, testified in support of the Application. Mr. Remsa testified that he reviewed the Application as well as the relevant zoning ordinances and it was his professional opinion that a d(1) use variance and a d(3) conditional use variance were appropriate under the circumstances. Mr. Remsa discussed the above referenced, required bulk variances as the reason the Applicant did not satisfy the conditional use requirements. Mr. Remsa testified that the bulk variances are all pre-existing non-conforming conditions due to the dimensions of the Property. Mr. Remsa addressed the positive and negative criteria standards. Mr. Remsa testified that the Applicant's proposal is compatible with the neighboring uses and will enhance the area. Mr. Remsa testified that the Applicant's proposal promotes sufficient appropriate space in appropriate locations for a variety of uses. Mr. Remsa testified that the Applicant's proposal promotes the intent and purpose of the C-4 zone. Mr. Remsa testified that the Applicant's proposal promotes a desirable visual impact and the efficient use of land through the addition of landscaping, a new building and by reducing impervious coverage. In addition, Mr. Remsa testified that the location of the Property is particularly suited due to its location in the C-4 zone and as it is on Admiral Wilson Boulevard, which is a commercial

thoroughfare. Mr. Remsa further testified that there are no negative impacts to the public good or the City's master plan as the use has been approved in the applicable zone.

6. Mr. Patterson, the Applicant's professional engineer testified in support of the Application. Mr. Patterson testified as to contents of the Zoning Board Engineer's Review Letter dated July 25, 2024, to the satisfaction of the Zoning Board and the Zoning Board's Engineer. Mr. Patterson further provided the requested testimony as to all of the requested bulk variances and design exceptions. Mr. Patterson's testimony is more fully set forth on the record and his testimony is incorporated herein by reference.

7. The Applicant agreed to comply with all terms and conditions of the Zoning Board Engineer's review letter dated July 25, 2024, except as noted on the record and in this Resolution.

8. The Application was opened to the public and no public comment was received regarding the Application.

9. The Zoning Board accepted the testimony and analysis of the Applicant and its professionals as well as the legal argument of Counsel that the proposed use variance, conditional use variance and bulk variances will be a benefit to the community and as such, the proposal of the Applicant will serve the public good and the intent of the zone plan. The Board notes that the new construction of commercial space is needed in the City and that the proposed use will help bring jobs to the City. The Board agreed that the Property was in need of a renovation and that the proposal of the Applicant appropriately satisfies that need. Appropriate testimony was provided by the Applicant's Professionals to support the requested variances and design exceptions associated with the site plan. It was the finding of the Zoning Board that the bulk variances could be granted without substantial detriment to the public good and without impairment to the zone plan and zoning ordinances of the City of Camden given existing site conditions.

**NOW, THEREFORE, BE IT RESOLVED** by the City of Camden Zoning Board of Adjustment that the Application for use variance approval, conditional use variance approval, bulk variance approval, preliminary and final site plan approval and design exceptions is herewith **GRANTED** by a vote of six (6) in favor and none (0) opposed for the reasons set forth on the record and in this Resolution, subject to the following terms and conditions:

1. The Applicant must comply with all terms and conditions of the Zoning Board Engineer's review letter dated July 25, 2024, except as noted on the record and in this Resolution and all review letters and review comments as prepared by the City of Camden Engineer.

2. The Applicant has also agreed to the following conditions of approval: a) to use ornamental fencing, as opposed to chain-link fencing; b) to obtain all of the required licensing for the cannabis dispensary; and c) that for each proposed use for the second and third floors to make new applications to the Zoning Board for approvals.

3. All agreements and/or representations made by the Applicant as set forth at the hearing in this matter or as contained in this Resolution must be fully satisfied by the Applicant.

4. All the initial findings of fact, conclusions and conditions as set forth in the "WHEREAS" recital paragraphs of this Resolution and in paragraphs 1 through 9 as set forth above are hereby incorporated by reference herein as further findings of fact and conditions as applicable.

5. The Applicant will be required to obtain all other governmental permits, licenses and approvals deemed necessary, as outlined in the Zoning Board Engineer's Review Letter dated July 25, 2024, or otherwise.

6. A copy of this Resolution be forwarded to the Zoning Officer, City Planning and Zoning Officer, Fire Marshall, Licenses and Inspections, Planning Board, and all other interested parties.

7. Pursuant to N.J.S.A. 52:27BBB-6, a true copy of this Resolution shall be forwarded to the Mayor who shall have ten (10) days from receipt thereof to veto this Resolution. Notices of veto shall be filed in the Office of the Municipal Clerk.

8. The Applicant must submit a certification that all taxes on the property have been paid to date, if applicable.

9. Any and all conditions as made part of this approval, including those noted by reference in any reports of the consultants or as set forth in this Resolution must be satisfied by the Applicant.

I hereby certify that this is a True Copy of the Resolution adopted by the City of Camden Zoning Board of Adjustment on the 7<sup>th</sup> day of October 2024.

  
EVITA MUHAMMAD, Secretary