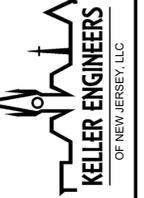


PRELIMINARY MAJOR SITE PLAN APPLICATION NEW CONSTRUCTION OF FOUR-STORY RESIDENTIAL/COMMERCIAL BUILDING FOR CONIFER REALTY, LLC

1301 HADDON AVENUE
CITY OF CAMDEN, NEW JERSEY, 08104

35 Kings Highway East, Suite 120
Haddonfield, NJ 08033
P: (856) 536-3169
www.kellerengineersofnj.com
COA Number: 24GA28276100



SAHIR D. MODY, P.E.
LICENSE NO. 240339880
SIGNATURE: *Sahir D. Mody*

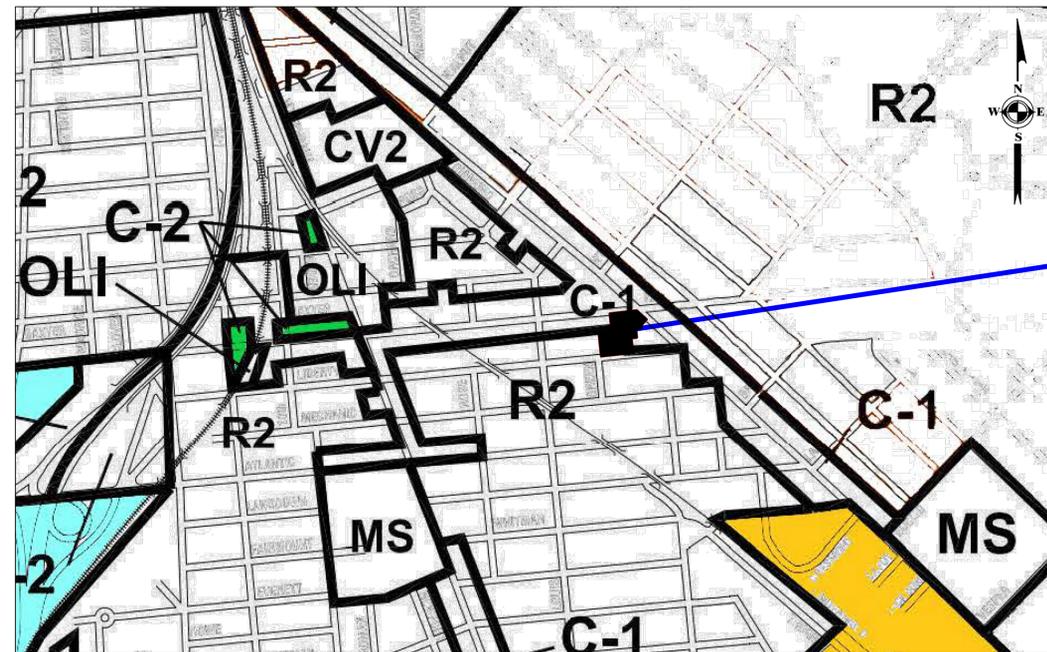
PARKING REQUIREMENTS (GRP):	
RESIDENTIAL	
HOUSING	1.00 PER NEW UNIT
COMMERCIAL	
RETAIL (LEASABLE)	1 PER 500 SF GSFA*
OFFICES	1 PER 1,000 SF PS**

GSFA*: GROSS SALES FLOOR AREA
PS**: PROFESSIONAL SPACE

PROPOSED PARKING	
CARS	56
ADA - CAR ACCESSIBLE	1
ADA - VAN ACCESSIBLE	1
ELECTRIC VEHICLE (EV)	9
TOTAL	56

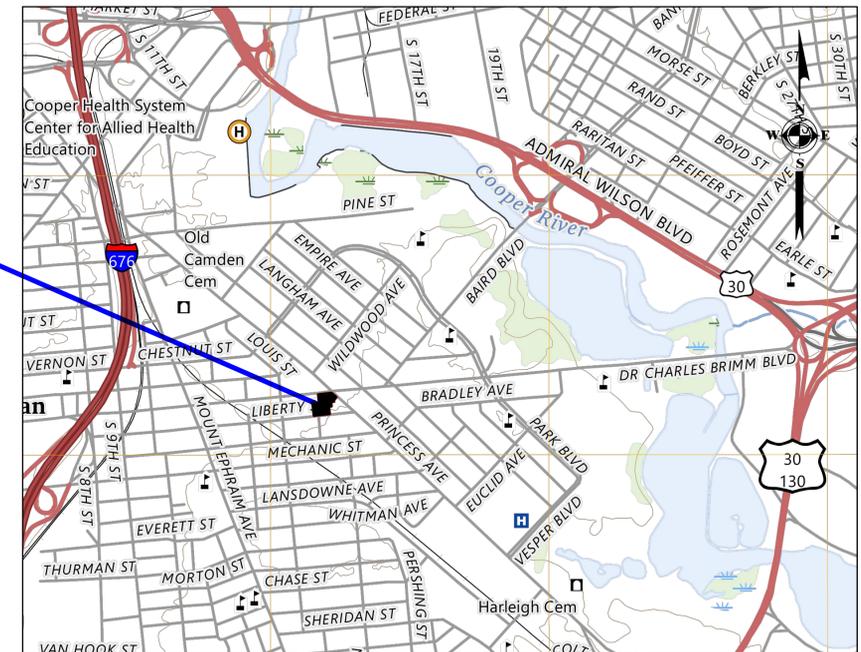
PROPOSED USE BREAKDOWN:

1. COMMERCIAL SPACE: 2,500 SF
2. ONE-BEDROOM RESIDENTIAL UNITS: 10 UNITS
3. TWO-BEDROOM RESIDENTIAL UNITS: 28 UNITS
4. THREE-BEDROOM RESIDENTIAL UNITS: 13 UNITS



SCALE: 1"=500'

ZONING MAP (DISTRICT GRP R-2 | C-R)



LOCATION MAP
SCALE: 1"=1000'

REFERENCE	TYPE	ITEM	REQUIRED	PROPOSED	STATUS*
GRP**	MIXED-USE COMMERCIAL & RESIDENTIAL	MINIMUM LOT AREA PER UNIT OR SITE AREA (SQ. FT.)	1,000	~30,837	C
870-56		MAXIMUM LOT AREA PER UNIT OR SITE AREA (SQ. FT.)	8,000	~30,837	V
GRP**		MINIMUM LOT WIDTH (FEET)	20	~35	C
870-56		MINIMUM LOT DEPTH (FEET)	100	~200	C
870-56		MINIMUM HEIGHT (FEET)	2 STORIES, OR 30 FT.	4 STORIES	C
GRP**		MAXIMUM HEIGHT (FEET)	3/4 STORIES, OR 35/45 FT.	45 FT.	UV
870-56		MINIMUM DEPTH OF FRONT YARD (FEET)	AVG. OF ADJ. LOTS	0	C
870-56		MINIMUM AGGREGATE WIDTH OF SIDE YARDS (FEET)	N/A	0	C
GRP**		MINIMUM WIDTH OF EACH SIDE YARD (FEET)	N/A	0	C
GRP**		MINIMUM DEPTH OF REAR YARD (FEET)	30	N/A	C
GRP**		MAXIMUM LOT BUILDING COVERAGE - RESIDENTIAL	60%	73%	C
GRP**		MAXIMUM LOT BUILDING COVERAGE - COMMERCIAL	80%	73%	C
870-56		MAXIMUM LOT IMPERVIOUS COVERAGE	60%	100%	V
GRP**		MAXIMUM DENSITY OF GARDEN APARTMENTS	29 UNITS/ACRE	51 UNITS/0.7 ACRE	UV

C: CONFORMANCE
V: VARIANCE
UV: USE VARIANCE

GRP**: GATEWAY REDEVELOPMENT PLAN

DRAWING INDEX		
SHEET	TITLE	REVISION
1	TITLE	----
2	INDEX/DEMOLITION PLAN	----
3	SITE PLAN	----
4	GRADING & UTILITIES PLAN	----
5	LANDSCAPE PLAN	----
6	DETAILS - 1	----
7	DETAILS - 2	----
8	DETAILS - 3	----
ES1	E&S PLAN	----
ES2	E&S NOTES	----
ES3	E&S DETAILS	----
---	ALTA/NSPS LAND TITLE SURVEY PREPARED BY TRISTATE ENGINEERING & SURVEYING	----

CITY APPROVALS
APPROVED BY THE ZONING BOARD OF ADJUSTMENTS OF THE CITY OF CAMDEN
THIS _____ DAY OF _____, 20____.
BOARD CHAIRMAN _____
ZONING BOARD SECRETARY _____
ZONING BOARD ENGINEER _____
ZONING OFFICER/ADMINISTRATIVE OFFICER _____

LIST OF UTILITIES AND EMERGENCY CONTACT INFORMATION

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY NEW JERSEY ONE CALL AT 1-800-272-1000 OR THE COMMON GROUND ALLIANCE NATIONAL ONE CALL AT 811 PRIOR TO THE START OF CONSTRUCTION. CALL FOR MARKOUTS THREE (3) FULL BUSINESS DAYS IN ADVANCE AND BEGIN EXCAVATION WITHIN 10 DAYS. ALL CONTRACTORS ON-SITE MUST HAVE THEIR OWN MARKOUT.

THE CONTRACTOR SHALL LOCATE, BOTH IN PLAN AND ELEVATION, ALL EXISTING UTILITIES AND SERVICES WITHIN THE AREA OF CONSTRUCTION.

AMERICAN WATER
1 WATER STREET, CAMDEN, NJ 08102,
1-866-269-2837

CAMDEN COUNTY MUNICIPAL UTILITIES AUTHORITY
1645 FERRY AVENUE, CAMDEN, NJ 08104,
856-541-3700

COMCAST CABLE
1250 HADDONFIELD-BERLIN ROAD, CHERRY HILL, NJ 08054, 856-258-0096

VERIZON NEW JERSEY, INC.
10 TANSBORO ROAD, 2ND FLOOR, BERLIN, NJ 08055, 856-306-8590

PSE&G - GAS & ELECTRIC DIVISIONS
2 RIVERSIDE DRIVE, SUITE #110, CAMDEN, NJ 08103, 800-436-7734

OWNER/APPLICANT
CONIFER REALTY, LLC
1000 UNIVERSITY AVENUE, SUITE 500
ROCHESTER, NY 14607
CONTACT: ROGER PINE, VP
PHONE: 831.997.0014
EMAIL: RPINE@CONIFERLLC.COM

ARCHITECT
CLARKE CATON HINTZ
100 BARRACK STREET
TRENTON, NJ 08608
CONTACT: GEORGE M. HIBBS, AIA
PHONE: 609.683.8383, EXT 305
EMAIL: GHIBBS@CCHINJ.COM

LAND-USE ATTORNEY
PARKER MCCAY P.A.
2 COOPER STREET, SUITE 1901
CAMDEN, NJ 08102
CONTACT: KEVIN SHEEHAN, ESQUIRE
PHONE: 609.685.5473
EMAIL: KSHEEHAN@PARKERMCCAY.COM

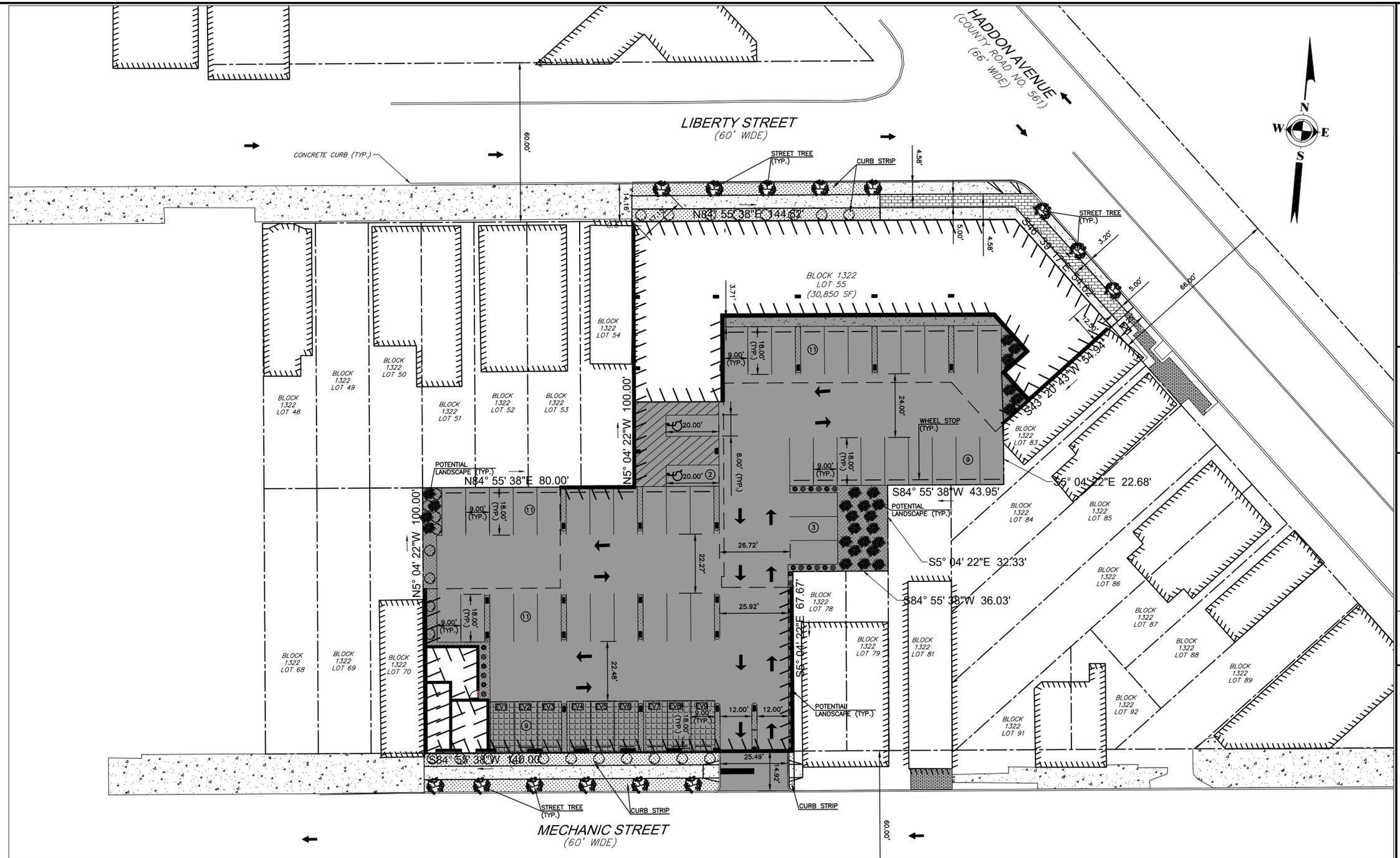
TITLE
NEW CONSTRUCTION OF FOUR-STORY
RESIDENTIAL/COMMERCIAL
BUILDING FOR CONIFER REALTY, LLC
1301 HADDON AVENUE
CITY OF CAMDEN, CAMDEN COUNTY, NEW JERSEY

PROJECT NO.:	FILE NAME:	DATE:	DESIGNED BY:	DRAWN BY:	CHECKED BY:
4774-1	01_TITLE.DWG	07/15/2024	SAV/AA	SAV/AA	SAV/AA

1

LANDSCAPING NOTES

- A. ALL PLANT MATERIALS SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND SHALL BE FIRST QUALITY NURSERY GROWN STOCK, FREE FROM DISEASE OR OBJECTIONABLE DISFIGUREMENTS AND PLANTED IN CONFORMANCE WITH SOUND NURSERY PRACTICE AND APPLICABLE CITY STANDARDS.
- B. ALL TREES (EXCEPT AS NOTED) SHALL BE BALLED AND BURLAPPED NURSERY-GROWN STOCK.
- C. ALL PLANT MATERIALS AND LAWNS SHALL BE PLANTED WITHIN THE RECOMMENDED SEASONABLE TIME PERIODS AS PRESCRIBED BY ACCEPTED HORTICULTURAL PRACTICE. PLANT MATERIAL WITH FALL PLANTING HAZARDS SHALL BE HANDLED ACCORDINGLY.
- D. A TEMPORARY FENCE, SUCH AS A SNOW FENCE, SHALL BE ERECTED AT THE PERIMETER OF THE DRIP-LINE OF ALL EXISTING VEGETATION INDICATED TO REMAIN PRIOR TO ANY EXCAVATION, CONSTRUCTION OR SITE WORK. THIS FENCE MAY BE REMOVED ONLY AT THE TIME OF COMPLETION OF ALL CONSTRUCTION AND FINAL GRADING.
- E. EXISTING TREES TO BE RELOCATED SHALL BE HANDLED ACCORDING TO ACCEPTABLE HORTICULTURAL PRACTICE.
- F. ALL DISTURBED AREAS NOT SHOWN AS PLANTED OR LAWN ARE TO BE TOPSOILED AND SEEDED OR RETURNED TO THEIR ORIGINAL STATE BEFORE DISTURBANCE AS DIRECTED BY THE CITY ENGINEER.
- G. ALL AREAS NOT RELATED TO THE DEVELOPMENT SHALL REMAIN IN THEIR NATURAL STATE.
- H. ADDITIONAL LANDSCAPING APPROVED BY THE CITY ENGINEER SHALL BE PROVIDED BY THE APPLICANT TO REPLACE ANY VEGETATION INADVERTENTLY REMOVED FROM OUTSIDE THE LIMIT OF DISTURBANCE LINE AS SHOWN ON THE APPROVED GRADING PLAN DURING CONSTRUCTION.
- I. PROPOSED TREES SHALL NOT BE PLANTED WITHIN EASEMENTS, DRIVEWAYS AND SIGHT TRIANGLES. THEREFORE, THE TREE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE ADJUSTED IN THE FIELD.
- J. ALL SHADE TREES IN PEDESTRIAN WALK AREAS SHALL HAVE INITIAL LIMBS STARTING AT A MINIMUM OF SEVEN FEET ABOVE FINISHED GRADE.
- K. ALL PLANTINGS ARE TO BE MULCHED WITH A THREE-INCH MINIMUM DEPTH OF SHREDDED HARDWOOD BARK.
- L. PLANTS ARRANGED IN CONTINUOUS GROUPINGS SHALL BE SET IN MULCHED BEDS.
- M. IF A DISCREPANCY EXISTS BETWEEN THE QUANTITY OF PLANTS SHOWN ON THE PLAN AND THE QUANTITY INDICATED ON THE LANDSCAPE SCHEDULE, THE DEVELOPER SHALL BE RESPONSIBLE FOR THE QUANTITIES SHOWN ON THE LANDSCAPE PLAN.
- N. PROPOSALS FOR PLANT SUBSTITUTIONS (NECESSITATED BY THE LACK OF AVAILABILITY OF CERTAIN SPECIES) MAY BE CONSIDERED IF SPECIFICALLY BROUGHT TO THE ATTENTION OF THE CITY ENGINEER. ANY PLANT SUBSTITUTIONS SHALL BE SUBJECT TO THE TIMELY REVIEW AND APPROVAL OF THE CITY ENGINEER.
- O. PLANTING DEBRIS SHALL BE REMOVED FROM THE PROPERTY.
- P. PLANT MATERIALS ARE TO BE GUARANTEED FOR TWO YEARS BY THE DEVELOPER TO BE IN HEALTHY AND VIGOROUS CONDITION FROM THE DATE OF ACCEPTANCE. IT IS UNDERSTOOD THAT THE OWNER WILL PROVIDE ADEQUATE AND TIMELY CARE DURING THE GUARANTEE PERIOD TO THE HIGHEST HORTICULTURAL STANDARDS. THE OWNER MAY BE RESPONSIBLE FOR THE MAINTENANCE OF ALL PROPOSED PLANTINGS BY PROVIDING THE CORRECT METHODS OF WEEDING, SPRAYING, WATERING, PRUNING, AND FERTILIZING.
- Q. ANY LIVE TREE WHICH IS SUBSTANTIALLY DAMAGED AS A RESULT OF GRADING OR GENERAL CONSTRUCTION MUST BE REMOVED AND REPLACED WITH ANOTHER TREE OR TREES AS APPROVED BY THE CITY ENGINEER.
- R. TREE REMOVAL FROM ANY SLOPE OR ENVIRONMENTALLY SENSITIVE AREA IS PROHIBITED IF IT WILL CONTRIBUTE, IN THE OPINION OF THE CITY ENGINEER, TO EXTRA RUNOFF OF SURFACE WATER ONTO ADJOINING PROPERTY AND EROSION AND SILTING, UNLESS OTHER MEANS APPROVED BY THE CITY ENGINEER ARE PROVIDED TO PREVENT RUNOFF AND EROSION.
- S. NO HEALTHY TREE THAT IS SPECIAL BY VIRTUE OF HISTORY, UNUSUAL SIZE, OR AGE, OR OF A RARE SPECIES, SHALL BE REMOVED EXCEPT AS MAY BE REQUIRED FOR THE PROTECTION OF PUBLIC HEALTH, SAFETY OR WELFARE.
- T. SELECTED EXISTING HEALTHY TREES SIX INCHES IN CALIPER OR LESS MEASURED FOUR FEET ABOVE THE GROUND SHALL BE RELOCATED ON-SITE UNDER THE DIRECTION AND APPROVAL OF THE CITY ENGINEER.
- U. NEWLY INSTALLED PLANT MATERIAL SHALL BE WATERED AT THE TIME OF PLANTING. REGULAR WATERING SHALL BE PROVIDED TO ENSURE THE ESTABLISHMENT AND REGULAR GROWTH OF ALL PLANTS.
- V. ALL ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW PER SECTION 870-224.B.19.

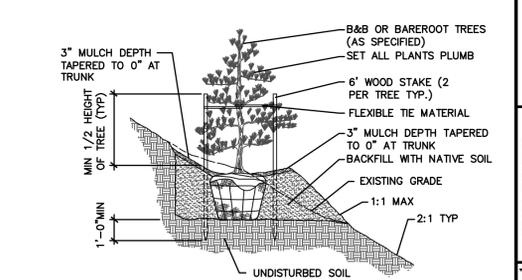
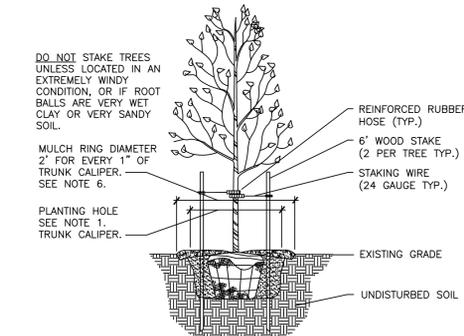
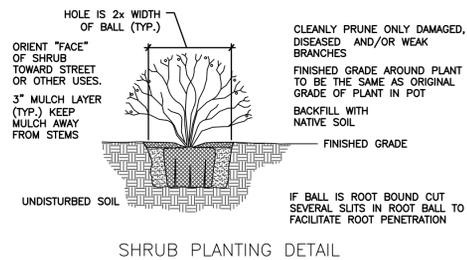


LANDSCAPING LEGEND

SYMBOL	KEY	QUANTITY	BOTANICAL NAME COMMON NAME	SIZE
	CR	27	GRAY DOGWOOD CORNUS RACEMOSA	10'-15' HT.
	AC	27	CATAWBA RHODODENDRON RHODODENDRON CATAWBIENSE	6'-10' HT.
	VA	18	MAPLELEAF VIBURNUM VIBURNUM ACERIFOLIUM	4'-6' HT.
	RM	19	KOREAN RHODODENDRON RHODODENDRON MUCRONULATUM	4'-8' HT.

ADDITIONAL LANDSCAPE NOTES:

1. ALL ELECTRICAL AND MECHANICAL EQUIPMENT SHOULD BE SCREENED FROM VIEW PER SECTION 870-224.B.19.
2. PLANTING AREAS SHALL RECEIVE WEED BARRIER FABRIC AND 3" OF SHREDDED BARK MULCH (COLOR: CHOCOLATE).
3. ALL PLANT MATERIALS SHALL MEET THE SPECIFICATIONS OF THE AMERICAN ASSOCIATION OF NURSERYMEN FOR NO. 1 GRADE.
4. ALL PLANT MATERIAL SHALL BE MAINTAINED AND REPLACED IF THE REQUIRED VEGETATION IS DAMAGED, DISEASED, CUT, OR DIES.
5. POST-CONSTRUCTION LANDSCAPE INSPECTION MAY REQUIRE ADDITIONAL PLANTINGS TO ACHIEVE THE PERFORMANCE OBJECTIVES FOR ADEQUATE LANDSCAPE SCREENING OF ADJACENT RESIDENTIAL PROPERTIES.
6. ALL PORTIONS OF THE PROPERTY NOT UTILIZED BY BUILDINGS OR PAVED SURFACES WILL BE LANDSCAPED AS REQUIRED UNDER SECTION 175-163.1(12) OF ORDINANCE.



- PLANTING NOTES:**
1. SET ROOT BALL AT, OR SLIGHTLY ABOVE FINISHED GRADE. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
 2. CUT TWINE, OR BURLAP, FROM AROUND TRUNK. CUT WIRE BASKET FROM THE TOP PORTION OF THE ROOT BALL (IF APPLICABLE).
 3. BACKFILL WITH EXISTING SOIL. USE OF SOIL AMENDMENTS IS NOT RECOMMENDED.
 4. TAMP SOIL AROUND ROOT BALL FIRMLY.
 5. ONE STAKE PER TREE ON WINDWARD SIDE; SECOND STAKE ON LEeward SIDE.
 6. 3" SHREDDED TANBARK MULCH SHALL BE PLACED AROUND EACH TREE, TAPER TO 0" AT TRUNK.
 7. PRUNE ONLY DEAD, BROKEN, OR CROSSOVER LIMBS.
- PLANTING NOTES:**
1. EXCAVATE PLANTING HOLE TO A DEPTH NOT TO EXCEED THE DEPTH OF THE ROOT BALL. HOLE DIAMETER TWICE ROOT BALL WIDTH.
 2. SET ROOT BALL AT, OR SLIGHTLY ABOVE FINISHED GRADE. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
 3. CUT TWINE, OR BURLAP, FROM AROUND TRUNK. CUT WIRE BASKET FROM THE TOP PORTION OF THE ROOT BALL (IF APPLICABLE).
 4. BACKFILL WITH EXISTING SOIL. USE OF SOIL AMENDMENTS IS NOT RECOMMENDED.
 5. TAMP SOIL AROUND ROOT BALL FIRMLY.
 6. ONE STAKE PER TREE ON WINDWARD SIDE; SECOND STAKE ON LEeward SIDE.
 7. MULCH RING, WITH HAND CUT EDGE, SHALL BE PLACED AROUND EACH TREE, IF NOT LOCATED IN A MULCHED BED, PLACE 3" SHREDDED TANBARK MULCH IN RING, TAPER TO 0" AT TRUNK.
 8. PRUNE ONLY DEAD, BROKEN, OR CROSSOVER LIMBS.

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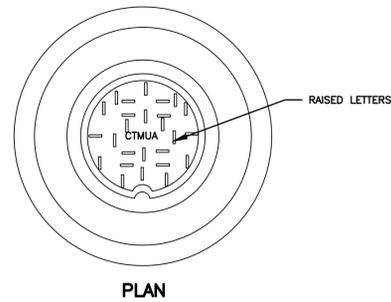
DATE & INITIALS	REVISION DESCRIPTION

SCALE: 1"=20'

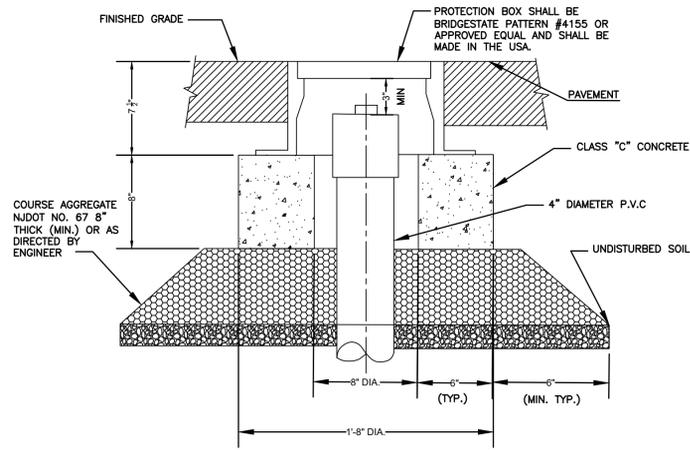
LANDSCAPE PLAN
 NEW CONSTRUCTION OF FOUR-STORY RESIDENTIAL/COMMERCIAL BUILDING FOR CONIFER REALTY, LLC
 1301 HADDON AVENUE
 HADDONFIELD, NJ 08033
 CITY OF CAMDEN, CAMDEN COUNTY, NEW JERSEY

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PROJECT NO.: 474-1	DATE: 07/15/2024	DESIGNED BY: SW/AA	CHECKED BY: SW/AA
FILE NAME: 05 LANDSCAPE PLANNING	DATE: 07/15/2024	DESIGNED BY: SW/AA	CHECKED BY: SW/AA

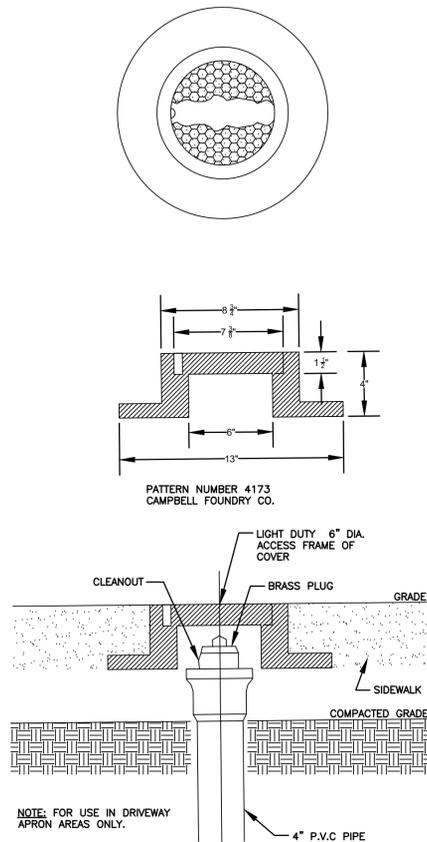


PLAN

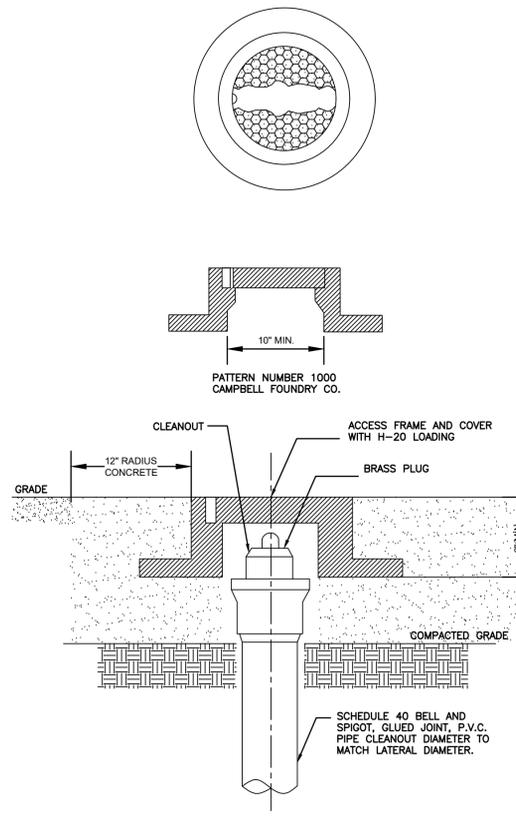


SECTION

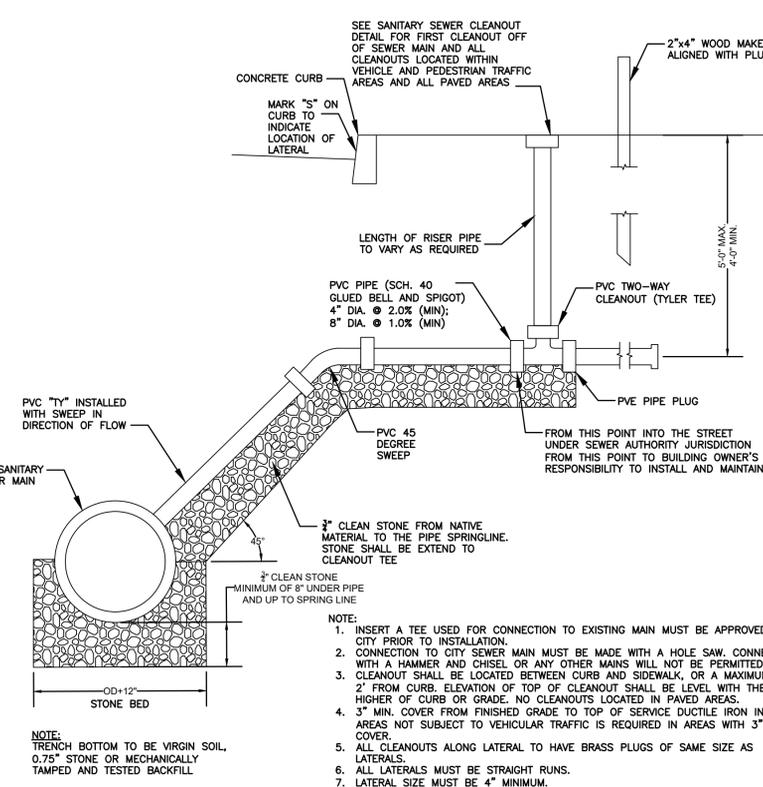
CLEAN-OUT PROTECTION BOX DETAIL 1/2



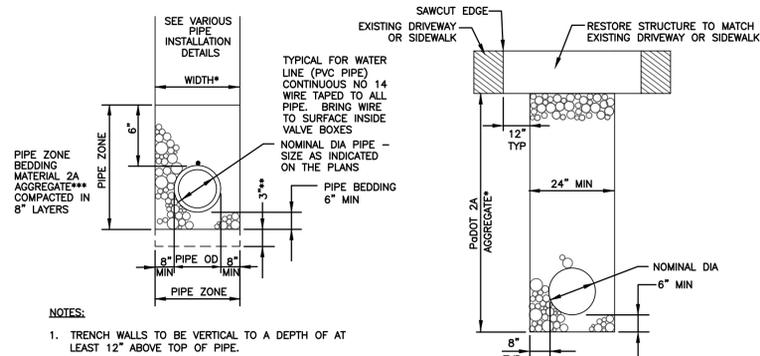
SANITARY SEWER CLEANOUT DETAIL - IN PAVEMENT 2/2



SANITARY SEWER CLEANOUT

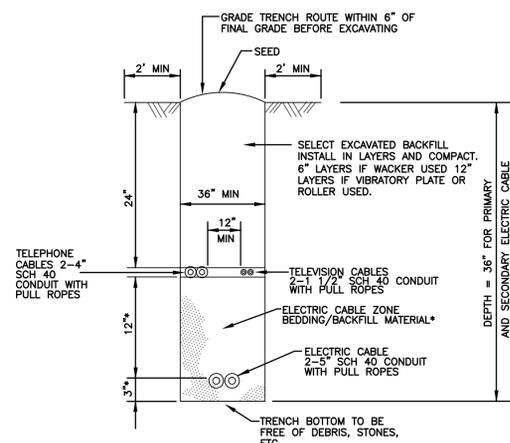


LATERAL DETAIL AND SANITARY SEWER CLEANOUT



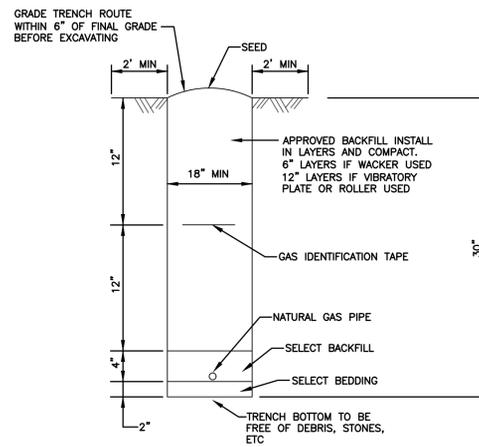
- NOTES:
- TRENCH WALLS TO BE VERTICAL TO A DEPTH OF AT LEAST 12" ABOVE TOP OF PIPE.
 - * WIDTH DETERMINED BY PIPE INSTALLATION APPLICATION.
 - ** OVER-EXCAVATE TRENCH ADDITIONAL 3" IF ROCK, HARD SHALE, OR UN-YIELDING MATERIAL ENCOUNTERED BACKFILL WITH SPECIFIED BEDDING MATERIAL.
 - *** USE 2B FOR PERFORATED PIPE

PIPE INSTALLATION ROADWAY



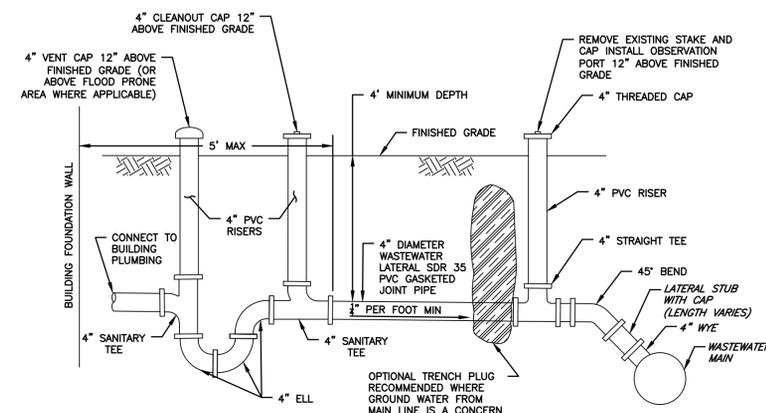
- NOTES:
- TRENCH WALLS TO BE VERTICAL TO A DEPTH OF AT LEAST 12" ABOVE TOP OF TELEPHONE CABLE.
 - TRENCH EXCAVATION, CABLE BEDDING, AND TRENCH BACKFILL BY CONTRACTOR CABLE INSTALLATION BY UTILITIES.
 - ALL SIGNIFICANT BENDS TO BE ACCOMPLISHED BY INSTALLING LONG RADIUS ELBOWS (36" MIN RADIUS).
 - * AT OPTION OF UTILITY OPERATING FOREMAN, BED CABLE IN 3" OF SAND OR SCREENED TOPSOIL, AND PROVIDE A 12" BACKFILL OF THE SAME MATERIAL.
- OR—
BACKFILL ENTIRE TRENCH WITH SELECT EXCAVATED BACKFILL MATERIAL.
- THE ELECTRIC CABLE ZONE BEDDING/BACKFILL MATERIAL MUST BE WELL TAMPED.

ELECTRIC/TELEPHONE/TELEVISION CABLE JOINT TRENCH



- NOTES:
- MINIMUM WIDTH FOR MAIN TRENCH SHALL BE 18".
 - BOTTOM OF TRENCH AND FIRST 6" OF BACKFILL SHALL BE FREE OF ROCK, CINDERS AND SHARP OBJECTS.
 - USE NATIVE BACKFILL MATERIAL WHENEVER POSSIBLE, OTHERWISE, USE GRADED SAND OR LIMESTONE SAND.
 - BACKFILL MATERIAL TO BE TAMPED TO AVOID SETTLING.
 - CUSTOMER MUST CONTACT COMPANY FOR METER LOCATION.
 - CUSTOMER IS RESPONSIBLE FOR ALL TRENCHING AND BACKFILLING.
 - TRENCH IS TO BE EXCAVATED IN THE LOCATION INDICATED BY GAS COMPANY.
 - CONTACT THE GAS COMPANY AT LEAST ONE WEEK BEFORE EXCAVATING.
 - DO NOT DIG BEFORE COORDINATING THE JOB WITH THE GAS COMPANY.
 - ALL CUSTOMER WORK MUST BE COMPLETED AND ALL REQUIRED INSPECTIONS BE OBTAINED BEFORE GAS COMPANY WILL CONNECT SERVICE.

NATURAL GAS PIPE TRENCH

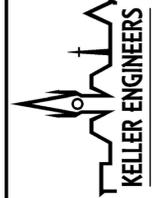


- NOTES:
- THE BUILDING WASTEWATER LATERAL IS REQUIRED TO BE LAID ON A GRADE OF ONE-QUARTER (1/4) OF AN INCH OR GREATER PER FOOT FROM BUILDING FOUNDATION WALL TO OBSERVATION PORT.
 - THE WASTEWATER LINE, AS COMPLETED, SHALL BE A MINIMUM OF FOUR (4) FEET BELOW THE GROUND SURFACE, UNLESS A LESSER DEPTH IS APPROVED BY THE TOWNSHIP.
 - A WASTEWATER VENT PIPE WILL BE REQUIRED WITHIN FIVE (5) FEET OF THE BUILDING FOUNDATION AND EXTENDING NO LESS THAN (12) INCHES ABOVE THE GROUND OR HIGH ENOUGH ABOVE A FLOOD PRONE AREA WHERE APPLICABLE.
 - IMMEDIATELY AFTER THE TRAP, A TRAP CONSISTING OF TWO (2) NINETY (90) DEGREE BENDS MUST BE INSTALLED.
 - IMMEDIATELY FOLLOWING THE TRAP, A CLEANOUT IS TO BE INSTALLED AS ILLUSTRATED IN THE ABOVE DIAGRAM.
 - THE OBSERVATION PORT MUST BE INSTALLED AS ILLUSTRATED IN THE ABOVE DIAGRAM.
 - IT IS REQUIRED THAT 2A OR 2B STONE IS TO BE USED SIX (6) INCHES ABOVE, BELOW AND BESIDE THE LATERAL PIPE THE ENTIRE LENGTH OF THE LATERAL FROM THE BUILDING FOUNDATION WALL TO THE WASTEWATER MAIN.
 - NO FOUNDATION, YARD, ROOF DRAIN OR ANY OTHER CONNECTIONS PERMITTING ANYTHING OTHER THAN SANITARY SEWAGE (AS DEFINED BY TOWNSHIP REGULATIONS) SHALL BE DISCHARGED TO THE SANITARY SEWER.
 - A CLEANOUT SHALL BE INSTALLED EVERY 75' ALONG LATERAL.
 - IMMEDIATELY AFTER THE TRAP, A TRAP CONSISTING OF TWO (2) NINETY (90) DEGREE BENDS MUST BE INSTALLED.
 - ENTIRE FOUNDATION WALL.
 - HDPE DR 17 PIPE MAY BE USED IN LIEU OF SDR 35 FOR BORINGS; HOWEVER, ALL FITTINGS, VENTS, TRAPS, CLEANOUTS AND OBSERVATION PORTS ARE TO BE SDR 35; STONE BEDDING REQUIRED FOR ALL SDR 35 APPLICATIONS.
 - TRANSITIONS FROM HDPE TO ANY AND ALL SDR 35 SHALL BE POLYCAM SERIES 731, 316 STAINLESS STEEL OR EQUAL.
 - ENTIRE TRENCH TO REMAIN OPEN FOR INSPECTION. PIPE AND FITTINGS MAY BE CONNECTED AND STONE BEDDING (UNDERNEATH PIPE ONLY) SHALL BE LAID; HOWEVER, BACKFILLING OF TRENCH IS NOT PERMITTED UNTIL PROPER INSPECTION BY THE TOWNSHIP'S DESIGNATED INSPECTOR.
 - NO CONNECTIONS TO HOUSE OR THE LATERAL STUB PROVIDED BY THE TOWNSHIP ARE TO BE MADE PRIOR TO THE APPROVAL OF THE INSPECTOR.

WASTEWATER SERVICE LATERAL

CAMDEN CITY REQUIREMENTS FOR DOMESTIC WATER LINE AND METER INSTALLATIONS

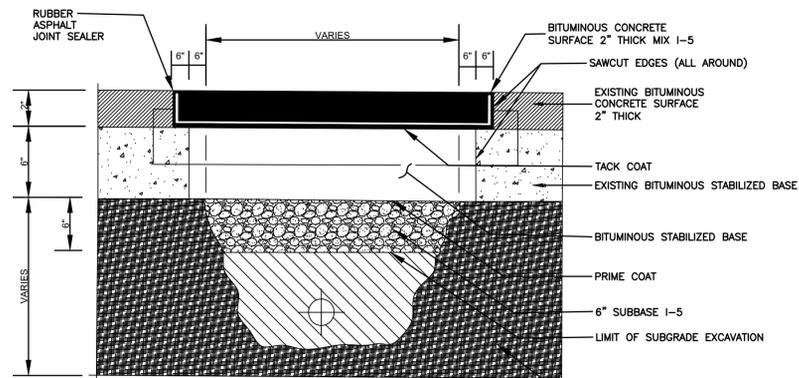
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DATE & INITIALS	REVISION DESCRIPTION

DETAILS - 2
NEW CONSTRUCTION OF FOUR-STORY RESIDENTIAL/COMMERCIAL BUILDING FOR CONIFER REALTY, LLC
1301 Haddon Avenue
L00102Z, LOIS 55
CITY OF CAMDEN, CAMDEN COUNTY, NEW JERSEY

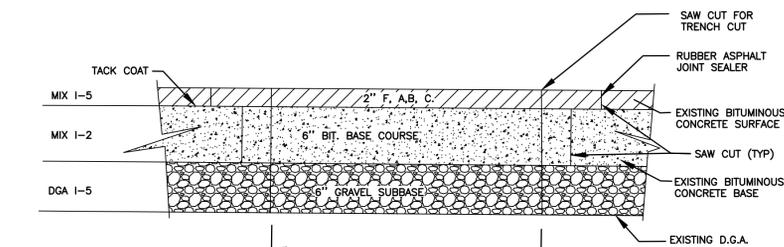
PROJECT NO.:	4774-
FILE NAME:	06 DETAILS.DWG
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DESIGNED BY:	SAW/AA
DRAWN BY:	SAW/AA
CHECKED BY:	SAW/AA
	SDM



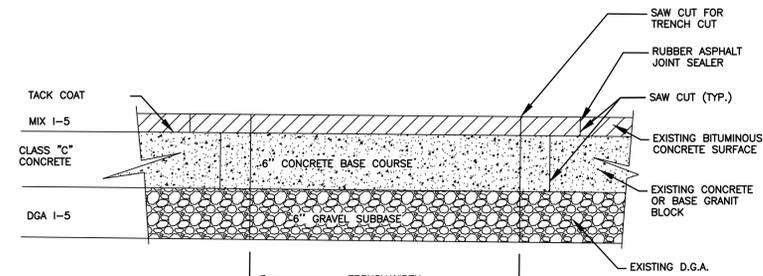
STREET RESTORATION UTILITY OPENING REPAIR
NOT TO SCALE

BITUMINOUS OVER BIT. STAB.

- NOTES:
1. PROTECT SUBGRADES AND FOUNDATION SOILS FROM SOFTENING AND DAMAGE BY WATER, FREEZING TEMPERATURES, OR FROST.
 2. EXCAVATE TO SUBGRADE ELEVATIONS REGARDLESS OF CHARACTER OF MATERIALS AND OBSTRUCTIONS ENCOUNTERED. TAMP SUBGRADE PRIOR TO PLACEMENT OF RESTORATION MATERIALS.
 3. BOX OUT EXISTING OPENINGS AS INDICATED ON DETAIL. SAW CUT EXISTING UTILITY STREET OPENING USING LONGITUDINAL AND TRAVERSE CUTS TO PROVIDE A NEAT EDGE AND SEAL JOINTS AS INDICATED.
 4. PLACE EACH MATERIAL AT DEPTH AND THICKNESS AS INDICATED. COMPACT EACH LAYER BY MEANS OF TAMPING.
 5. GRADE AREAS TO A SMOOTH SURFACE TO BLEND INTO EXISTING GRADES.
 6. UNDER PAVEMENTS AND WALKWAYS, PLACE SUBBASE COURSE MATERIAL ON PREPARED SUBGRADES AS INDICATED OR DIRECTED BY ENGINEER AND COMPACT BY TAMPING REQUIRED THICKNESSES.
 7. REMOVE SURPLUS SATISFACTORY SOIL AND WASTE MATERIAL INCLUDING UNSATISFACTORY SOIL, TRASH, AND DEBRIS AND LEGALLY DISPOSE OF IT.

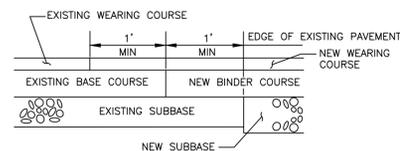


ASPHALT TOP - ASPHALT BASE ROADWAY



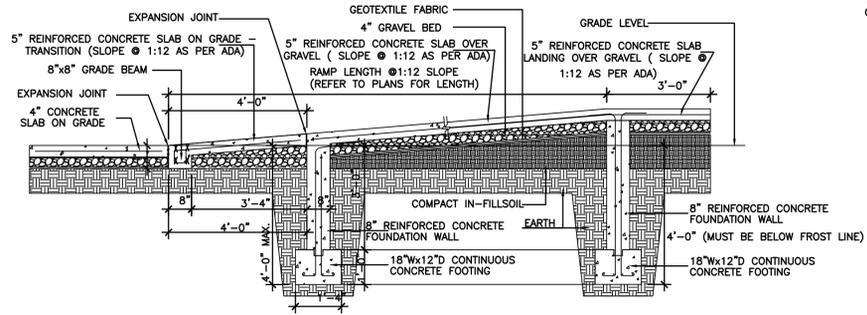
ASPHALT TOP - CONCRETE BASE ROADWAY

PAVEMENT REPLACEMENT AND RECONSTRUCTION

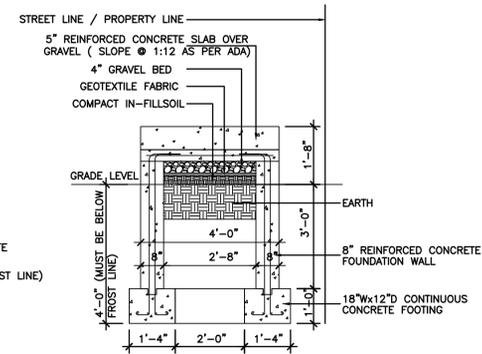


- NOTES:
1. SAWCUT ALL JOINTS VERTICAL AND NEAT.
 2. PLACE TACK COAT ON EXISTING SAWCUT BITUMINOUS SURFACES AND EXISTING BASE.
 3. APPLY SEALER MATERIAL ALONG JOINT BETWEEN EXISTING AND NEW BITUMINOUS WEARING SURFACES.

BITUMINOUS PAVEMENT MATCH



CONCRETE ADA RAMP
N.T.S



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COA Number: 24GA28276100

KELLER ENGINEERS
OF NEW JERSEY, LLC



DATE & INITIALS	REVISION DESCRIPTION

DETAILS - 3

NEW CONSTRUCTION OF FOUR-STORY RESIDENTIAL/COMMERCIAL BUILDING FOR CONIFER REALTY, LLC

1301 HODDON AVENUE
LOC. 0322, LOTS 35
CITY OF CAMDEN, CAMDEN COUNTY, NEW JERSEY

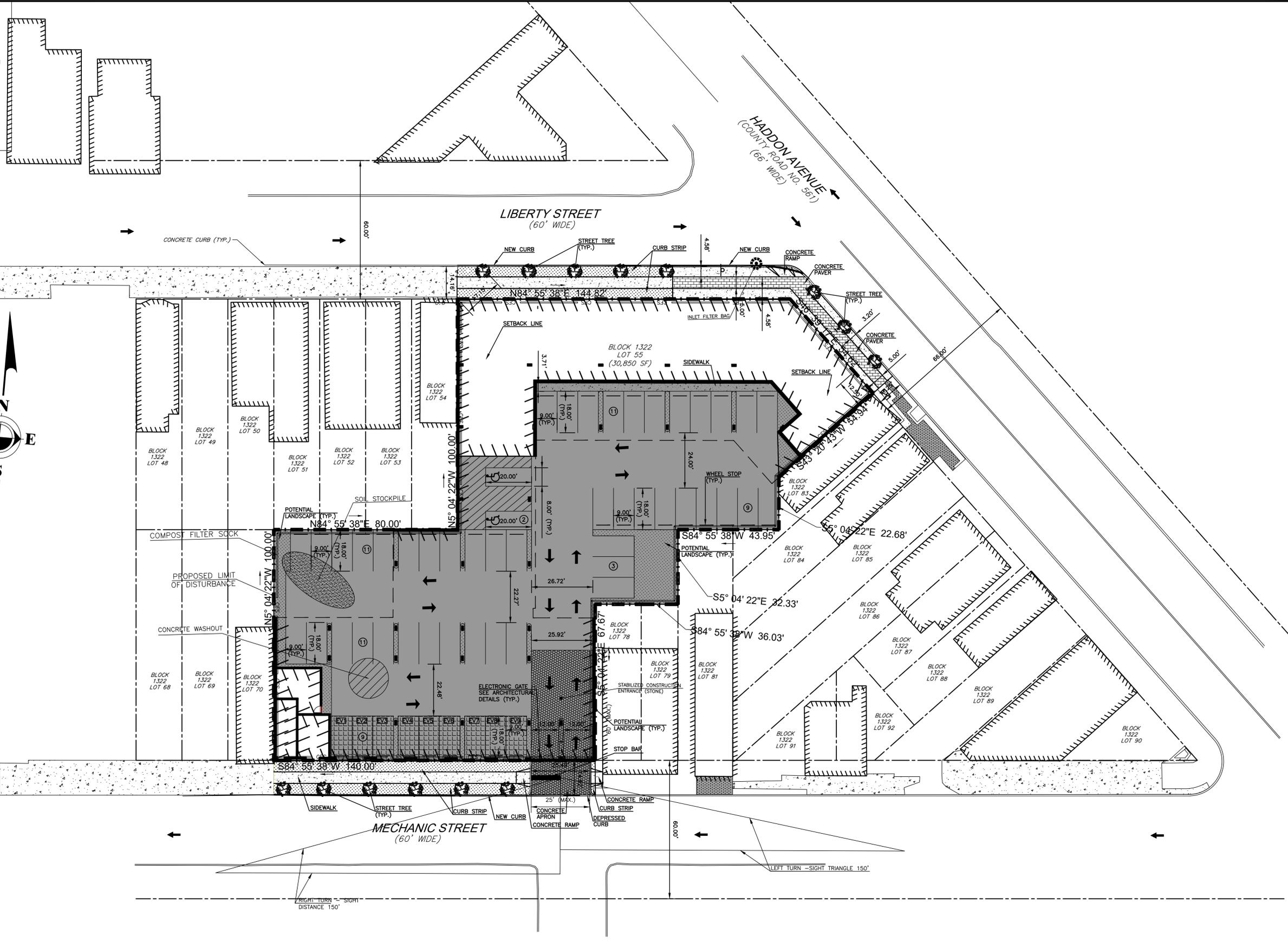
PROJECT NO.: 4774-1
FILE NAME: 06 DETAILS.DWG
DATE: 07/15/2024
DESIGNED BY: SM/AA
DRAWN BY: SM/AA
CHECKED BY: SM

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8

EROSION CONTROL LEGEND

-  LIMIT OF DISTURBANCE
-  COMPOST FILTER SOCK
-  INLET FILTER BAG
-  STABILIZED CONSTRUCTION ENTRANCE
-  SOIL STOCKPILE
-  CONCRETE WASHOUT



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KELLER ENGINEERS
 OF NEW JERSEY, LLC



DATE & INITIALS	REVISION DESCRIPTION

SCALE: 1"=20'
 0' 20'

EROSION AND SEDIMENTATION CONTROL PLAN
 NEW CONSTRUCTION OF FOUR-STORY RESIDENTIAL/COMMERCIAL BUILDING FOR CONIFER REALTY, LLC
 1301 HADDON AVENUE
 BLOCK 1322, LOTS 55
 CITY OF CAMDEN, CAMDEN COUNTY, NEW JERSEY

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PROJECT NO.: 4774-1
FILE NAME: ESD1
DATE: 07/15/2024
DRAWN BY: SVA/AA
CHECKED BY: SVA

ES1

EROSION AND SEDIMENT CONTROL NOTES

GENERAL

- 1. TOTAL SITE ACREAGE = 0.71 ACRES / TOTAL DISTURBANCE = 0.71 ACRES
2. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN.
3. CONSTRUCTION SHALL NOT COMMENCE UNTIL THE COUNTY CONSERVATION DISTRICT HAS APPROVED THE EROSION AND SEDIMENT CONTROL PLAN.

CAMDEN COUNTY SOIL EROSION AND SEDIMENT CONTROL NOTES

- 1. ALL APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATION AND/OR INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES.
2. SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.
3. APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND/OR THE AREA IS STABILIZED.

- 4.3.1. PEG AND TWINE- DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS AND SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
4.3.2. MULCH NETTING- STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTING TO THE SOIL SURFACE. USE A DEGRADABLE NETTING IN AREAS TO BE MOWED.

TEMPORARY SEEDING MIXTURE

THIS SEEDING MIXTURE IS COMPOSED OF A SINGLE SPECIES WHICH GERMINATES QUICKLY IN ORDER TO REDUCE SOIL EROSION UNTIL A PERMANENT VEGETATIVE COVER CAN BE ESTABLISHED. A MIXTURE OF EQUAL QUALITY MAY BE SUBSTITUTED IF APPROVED BY OUR OFFICE.

Table with 3 columns: %, COMMON NAME, BOTANICAL NAME. Row 1: 100%, PERENNIAL RYE GRASS, LOLIUM PERENNE.

THE MINIMUM APPLICATION RATE FOR THIS SEEDING MIXTURE SHALL BE ONE (1) POUND/1000 SQUARE FEET OR 44 POUNDS/ACRE. RECOMMENDED SEEDING PERIODS ARE MARCH 1-MAY 15 AND AUGUST 15-OCTOBER 1 SUMMER SEEDING SHALL BE PERFORMED ONLY IF ADEQUATE IRRIGATION IS PROVIDED TO ENSURE SUCCESSFUL GERMINATION.

PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION

- 1. SITE PREPARATION
1.1. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MAINTENANCE.
1.2. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.
2. SEEDBED PREPARATION
2.1. APPLY LIMESTONE AND FERTILIZER. FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-20-10 OR EQUIVALENT. APPLY LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDES) AS FOLLOWS:

Table with 3 columns: SOIL TEXTURE, TONS/ACRE, LBS/1000 SF. Rows include CLAY, CLAY LOAM, AND HIGH ORGANIC SOIL; SANDY LOAM, LOAM, SILT LOAM; LOAMY SAND, SAND.

- 2.2. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW, OR OTHER SUITABLE EQUIPMENT.
2.3. REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER IN ANY DIMENSION.
3. SEEDING
3.1. SEE PERMANENT SEED MIXTURE FOR SPECIES AND APPLICATION RATES.
3.2. APPLY SEED UNIFORM BY HAND, CYCLONE(CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDROSEEDER. MULCH SHALL NOT BE INCLUDED IN A HYDRO SEEDER TANK WITH SEED, EXCEPT FOR DRILLED, HYDROSEEDED OR CULTIPACKED SEEDING.

- 4.1. MULCH MATERIALS SHOULD BE UNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, OR SALT HAY TO BE APPLIED AT THE RATE OF 1 1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET).
4.2. SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 75% TO 85% OF THE SOIL SURFACE WILL BE COVERED.
4.3. MULCH ANCHORING SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER.

- 5. IRRIGATION
5.1. IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER (A MINIMUM OF 1/4 INCH TWICE A DAY UNTIL VEGETATION IS WELL ESTABLISHED).
6. TOP DRESSING*
6.1. SPRING SEEDING WILL REQUIRE AN APPLICATION OF FERTILIZER SUCH AS 10-10-10 OR EQUIVALENT AT 400 POUNDS PER ACRE OR 10 POUNDS PER 1,000 SQUARE FEET BETWEEN SEPTEMBER 1 AND OCTOBER 15.

PERMANENT SEEDING MIXTURE (DRY)

THIS SEEDING MIXTURE IS COMPOSED OF DROUGHT-TOLERANT SPECIES WHICH CAN THRIVE WITH LOW MAINTENANCE. THE PROPRIETARY NAME OF THE MIXTURE IS RECLAIM CONSERVATION MIX-DRY FORMULA AS MANUFACTURED BY LOFTS, INC. BOUND BROOK, N.J. 08805, (800)526-3890. A MIXTURE OF EQUAL QUALITY MAY BE SUBSTITUTED IF APPROVED BY OUR OFFICE.

Table with 3 columns: %, COMMON NAME, BOTANICAL NAME. Rows include CLEMFINE TALL FESCUE, WEeping LOVEGRASS, RELIANT HARD FESCUE, JAMESTOWN CHEWINGS FESCUE, PALMER PERENNIAL RYE, WHITE CLOVER, BLACKWELL SWITCHGRASS.

THE MINIMUM APPLICATION RATE FOR THIS SEEDING MIXTURE SHALL BE SIX (6) POUNDS/1000 SQUARE FEET. RECOMMENDED SEEDING PERIODS ARE APRIL 1-MAY 31 AND AUGUST 16-OCTOBER 15. SUMMER SEEDING SHALL BE PERFORMED ONLY IF ADEQUATE IRRIGATION IS PROVIDED TO ENSURE SUCCESSFUL GERMINATION.

PERMANENT SEEDING MIXTURE (MOIST)

THIS SEEDING MIXTURE IS COMPOSED OF MOISTURE-TOLERANT SPECIES WHICH CAN THRIVE WITH LOW MAINTENANCE. THE PROPRIETARY NAME OF THE MIXTURE IS RECLAIM CONSERVATION MIX-MOIST FORMULA AS MANUFACTURED BY LOFTS, INC. BOUND BROOK, N.J. 08805, (800) 526-3890. A MIXTURE OF EQUAL QUALITY MAY BE SUBSTITUTED IF APPROVED BY OUR OFFICE.

Table with 3 columns: %, COMMON NAME, BOTANICAL NAME. Rows include CLEMFINE TALL FESCUE, MASSAU KENTUCKY BLUEGRASS, PALMER PERENNIAL RYE, LASER POA TRIVIALIS, STRAWBERRY REDTOP, SEED CANARY GRASS.

THE MINIMUM APPLICATION RATE FOR THIS SEEDING MIX TURE SHALL BE SIX (6) POUNDS/1000 SQUARE FEET. RECOMMENDED SEEDING PERIODS ARE APRIL 1 -MAY 31 AND AUGUST 16-OCTOBER 15. SUMMER SEEDING SHALL BE PERFORMED ONLY IF ADEQUATE IRRIGATION IS PROVIDED TO ENSURE SUCCESSFUL

GERMINATION.

TOP SOILING

- 1. MATERIALS
1.1. TOPSOIL SHOULD BE FRIABLE AND LOAMY, FREE OF DEBRIS, OBJECTIONABLE WEEDS AND STONES. AND CONTAIN NO TOXIC SUBSTANCE THAT MAY BE HARMFUL TO PLANT GROWTH.
2. SITE PREPARATION
2.1. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION AND ANCHORING, AND MAINTENANCE.

SPECIAL NOTES

- 1. TEMPORARY STABILIZATION - ALL EXPOSED AREAS NOT BE CONSTRUCTED UPON WITHIN 30 DAYS SHOULD RECEIVE TEMPORARY STABILIZATION, ACCORDING TO THE TEMPORARY VEGETATIVE COVER SPECIFICATIONS.
2. PERMANENT STABILIZATION - ALL EXPOSED AREA WHICH ARE TO BE PERMANENTLY VEGETATED SHOULD BE SEEDDED WITHIN 10 DAYS OF FINAL GRADING, ACCORDING TO THE PERMANENT SEEDING SPECIFICATIONS.

STANDARD FOR DUST CONTROL

DEFINITION: THE CONTROL OF DUST ON CONSTRUCTION SITES AND ROADS.
PURPOSE: TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, REDUCE ON AND OFF-SITE DAMAGE AND HEALTH HAZARDS, AND IMPROVE TRAFFIC SAFETY.

WHERE APPLICABLE: THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON- AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT. CONSULT WITH LOCAL MUNICIPAL ORDINANCES ON ANY RESTRICTIONS.

PLANNING CRITERIA: THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST; MULCHES: SEE STANDARDS FOR STABILIZATION WITH MULCHES ONLY (P.3.3.1). VEGETATIVE COVER: SEE STANDARDS FOR: TEMPORARY VEGETATIVE COVER (P.3.1.1), PERMANENT VEGETATIVE SPRAY ON ADHESIVES: ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.

Table with 4 columns: MATERIAL, WATER DILUTION, TYPE OF NOZZLE, APPLY GALLONS/ACRE. Rows include ANIONIC ASPHALT EMULSION, LATEX EMULSION, RESIN IN WATER.

TILLAGE: TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDOW SIDE OF SITE. CHISEL TYPE PLOWS SPACED ABOUT 12 INCHES APART, AND SPRING TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.

SPRINKLING: SITE IS SPRINKLED UNTIL THE SURFACE IS WET.
BARRIERS: SOLID BOARD FENCES, SNOW FENCE, BURLAP FENCES, CRATE WALLS, BALES OF HAY, AND SIMILAR MATERIALS CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.

CALCIUM CHLORIDE: SHALL BE IN THE FORM OF LOOSE DRY GRANULAR OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.

STONE: COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

PROJECT CONSTRUCTION SEQUENCE:

- 1. DEMOLITION & REMOVE ANY REMNANTS AS PER INDEX & DEMOLITION PLAN.
2. INSTALL SOIL EROSION AND SEDIMENT MEASURES FOR THE NEW CONSTRUCTION.
3. CLEAR AND GRUB AREA OF CONSTRUCTION.
4. ROUGH GRADE SITE.
5. CONSTRUCT THE FOUNDATION FOR THE NEW BUILDING AND SLAB ON GRADE IF ANY.
6. CONSTRUCT THE PROPOSED BUILDING.
7. CONSTRUCT UTILITIES, CURB, AND SIDEWALK.
8. CONSTRUCT SUBBASE COURSE FOR CONCRETE APRONS, PARKING LOT, AND BUILDING.
9. FINE GRADE PAVEMENT AREAS AND CONSTRUCT CONCRETE APRONS AND PARKING LOT WEARING COURSE.
10. STABILIZE SITE WITH PERMANENT VEGETATIVE COVER, CONSTRUCT FENCE, AND INSTALL LANDSCAPING.
11. REMOVE EROSION AND SEDIMENT CONTROL MEASURES.

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COA Number: 24GA28276100

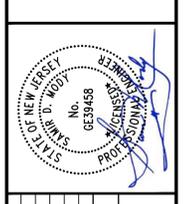
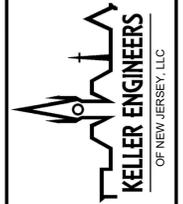
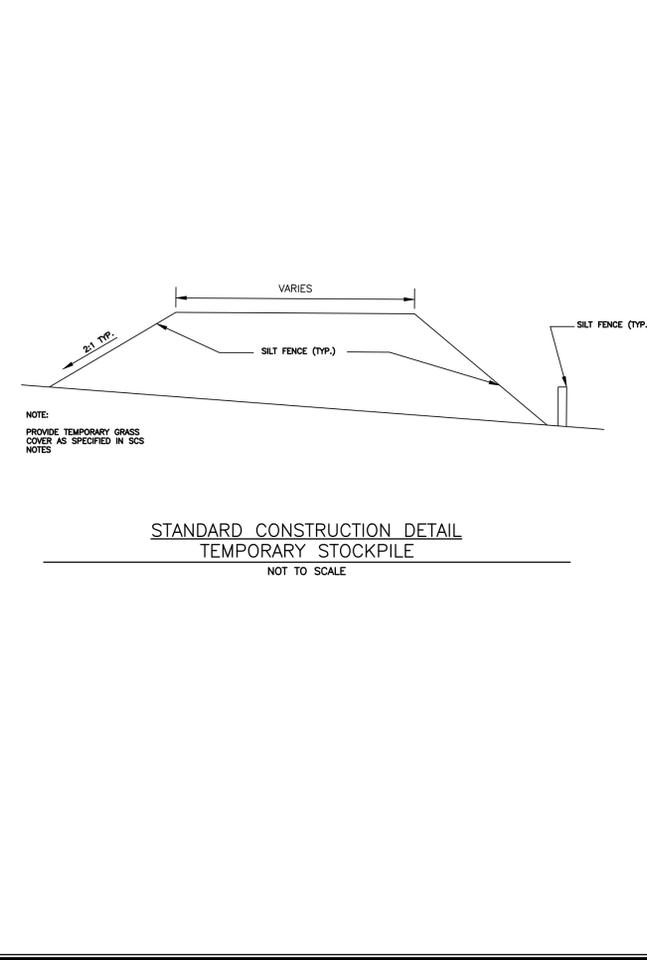
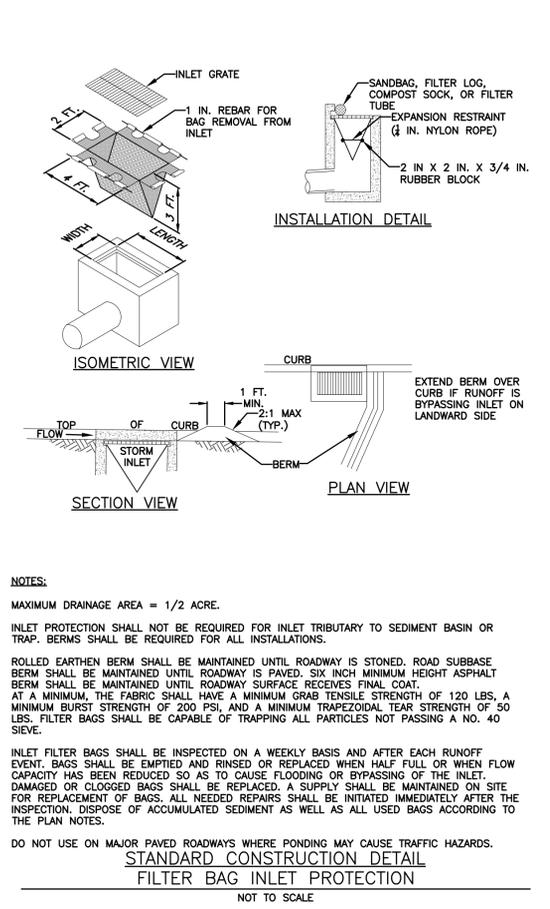
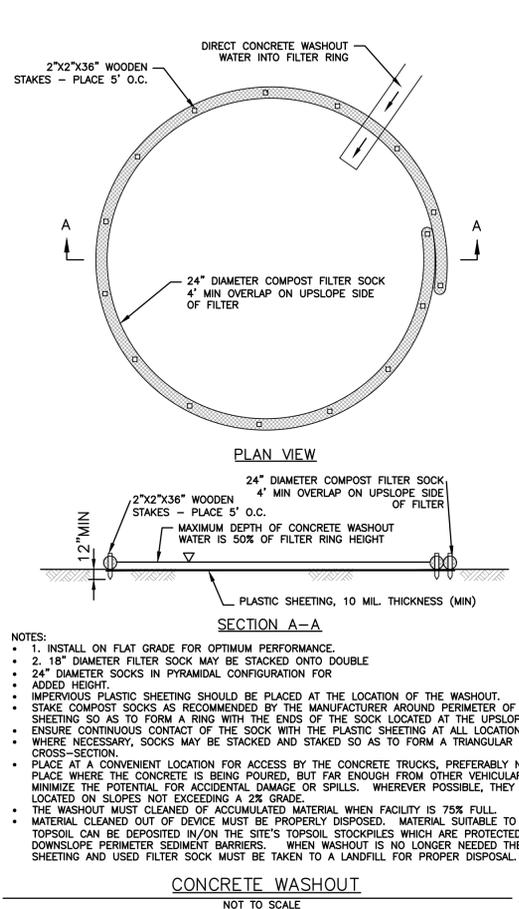
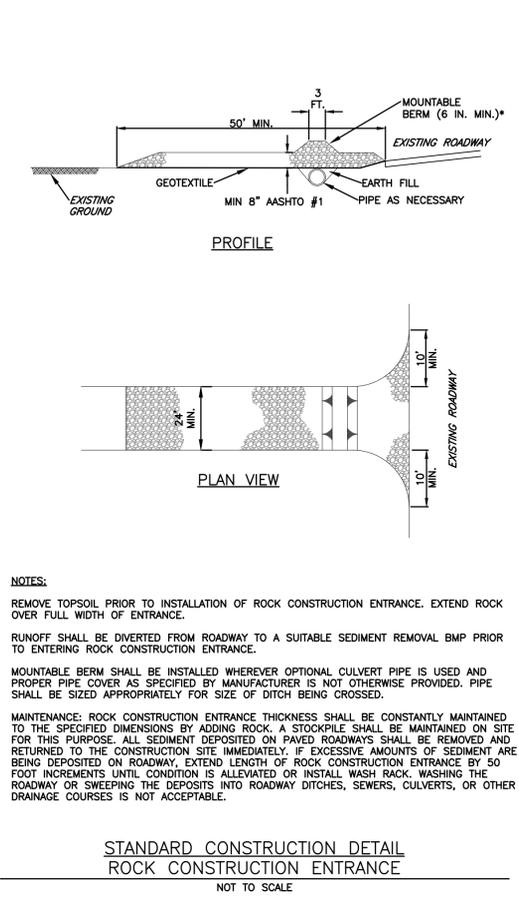
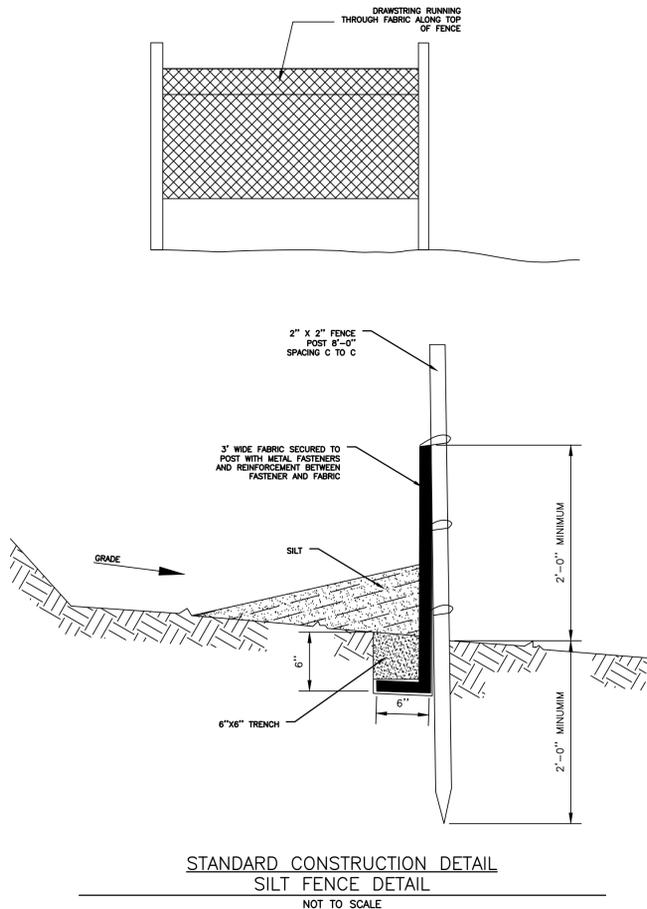


Table with 2 columns: DATE & INITIALS, REVISION DESCRIPTION. Includes entries for 07/15/2024 and 07/15/2024.

EROSION AND SEDIMENTATION CONTROL PLAN
NEW CONSTRUCTION OF FOUR-STORY RESIDENTIAL/COMMERCIAL BUILDING FOR COMFER REALTY, LLC
1301 HADDON AVENUE
BLOCK 1322, LOT 55
CITY OF CAMDEN, CAMDEN COUNTY, NEW JERSEY

PROJECT NO.: 4774-1
FILE NAME: E&S.DWG
DATE: 07/15/2024
DESIGNED BY: SAJ/AA
DRAWN BY: SAJ/AA
CHECKED BY: SAJ/AA
ES2 logo



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COA Number: 24GA28276100

KELLER ENGINEERS
OF NEW JERSEY, LLC

STATE OF NEW JERSEY
COUNTY OF CAMDEN
PROFESSIONAL ENGINEER
No. 6539458

DATE & INITIALS	REVISION DESCRIPTION

EROSION AND SEDIMENTATION CONTROL PLAN
NEW CONSTRUCTION OF FOUR-STORY RESIDENTIAL/COMMERCIAL BUILDING FOR CONIFER REALTY, LLC
1301 HADDON AVENUE
#6000 1322, LOTS 55
CITY OF CAMDEN, CAMDEN COUNTY, NEW JERSEY

PROJECT NO.: 4774-1
FILE NAME: E&S.DWG
DATE: 07/15/2024
DESIGNED BY: SA/AA
DRAWN BY: SA/AA
CHECKED BY: SIM

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