

AMENDED SITE PLAN FOR SUBARU HEADQUARTERS TRAFFIC CALMING

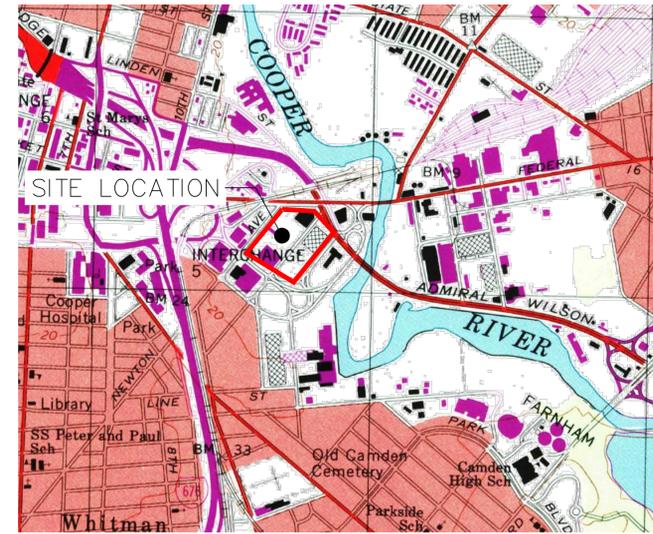
1 SUBARU DRIVE, CAMDEN, CAMDEN COUNTY, NEW JERSEY

BLOCK 1459, LOT 9



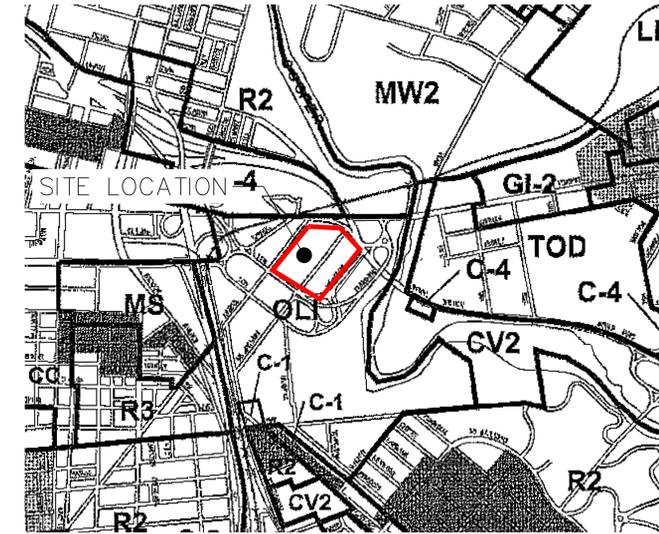
SITE LOCATION MAP

SCALE: 1" = 1000'



USGS KEY MAP

SCALE: 1" = 1000'



ZONING MAP

SCALE: 1" = 1000'

CIVIL SHEET INDEX

LAST DATED	SHEET NO.	DRAWING NO.	TITLE
12/15/2023	1	GI001	COVER SHEET
12/15/2023	2	CD101	SITE DEMOLITION PLAN
12/15/2023	3	CS100	OVERALL SITE PLAN
12/15/2023	4	CS101	SITE PLAN
12/15/2023	5	CS201	STRIPING & TURNING MOVEMENT PLAN
12/15/2023	6	CS501	SITE DETAILS
12/15/2023	7	CG101	GRADING & DRAINAGE PLAN
12/15/2023	8	CG501	GRADING & DRAINAGE DETAILS
12/15/2023	9	CE101	SOIL EROSION & SEDIMENT CONTROL PLAN
12/15/2023	10	CE501	SOIL EROSION & SEDIMENT CONTROL DETAILS
12/15/2023	11	CU101	UTILITY PLAN
12/15/2023	12	LP101	LANDSCAPE PLAN
12/15/2023	13	LP501	LANDSCAPE NOTES AND DETAILS

ADDITIONAL DRAWINGS TITLED "SUBARU OF AMERICA, INC. ONE SUBARU DRIVE TOPOGRAPHIC & UTILITY PLAN", DRAWING NO. VT-100 & VT-101, DATED AUGUST 18, 2023 ATTACHED.

GENERAL NOTES

- THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION; AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITEWORK CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
- THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER AND ENGINEER MAKE NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY INFORMATION THAT WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL: MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS; CORRELATE CONDITIONS WITH THE DRAWINGS; AND, RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL PERFORM ADDITIONAL TOPOGRAPHIC SURVEYS HE/SHE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
- THE CONTRACTOR SHALL, WHEN HE/SHE DEEMS NECESSARY, PROVIDE A WRITTEN REQUEST FOR INFORMATION (RFI) TO THE OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF THREE WORK DAYS FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITEWORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
- INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS, PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO BID. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO BID.
- THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.
- CONTRACTOR IS SPECIFICALLY CAUTIONED THAT ALL CONSTRUCTION STAKEOUT FOR THIS PROJECT MUST BE COMPLETED FROM THE SITE SPECIFIC SURVEY CONTROL (HORIZONTAL AND VERTICAL) UPON WHICH THE DESIGN IS BASED. THE CONTRACTOR SHOULD NOT RELY ON OR RE-ESTABLISH SURVEY CONTROL BY GPS OR OTHER METHODS FOR USE IN CONSTRUCTION STAKEOUT OR ANY OTHER PURPOSE FOR THIS PROJECT. ANY DISCREPANCIES BETWEEN THE EXISTING HORIZONTAL OR VERTICAL DATA SHOWN ON THESE DRAWINGS AND THAT ENCOUNTERED IN THE FIELD MUST BE REPORTED TO THE DESIGN TEAM PRIOR TO CONSTRUCTION FOR RESOLUTION.

200-FOOT PROPERTY OWNERS LIST

OWNER & ADDRESS REPORT
CAMDEN CITY BLOCK 1459 LOT 9 09/05/23 Page 1 of 1

BLOCK	LOT	QUAL	CLA	PROPERTY OWNER	PROPERTY LOCATION	Add'l Lots
115	1		15C	NJ TRANSIT CORPORATION ONE PENN PLAZA EAST NEWARK, NJ 07105	12TH AND FEDERAL STREET	
115	1	B01	15C	NJ TRANSIT CORPORATION ONE PENN PLAZA EAST NEWARK, NJ 07105	12TH AND FEDERAL STREET	
115	1	B02	15C	NJ TRANSIT CORPORATION ONE PENN PLAZA EAST NEWARK, NJ 07105	12TH AND FEDERAL STREET	
115	2		5A	CONSOLIDATED RAIL CORP; TAX DEPT THREE COMMERCIAL PL, #209 NORFOLK, VA 23510	12TH ST 20' N FEDERAL	
115	23		1	INTERTRUST HOLDINGS ADVERTISING LLC NW FEDERAL & ADMRL WILSON 905 NO KINGS HIGHWAY CHERRY HILL, NJ 08034		
115	23	B01	4A	INTERTRUST HOLDINGS ADVERTISING LLC NW FEDERAL & ADMRL WILSON 905 NO KINGS HIGHWAY CHERRY HILL, NJ 08034		
115	23	B02	4A	INTERTRUST HOLDINGS ADVERTISING LLC NW FEDERAL & ADMRL WILSON 905 NO KINGS HIGHWAY CHERRY HILL, NJ 08034		
1451	7		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	SS WRIGHT AVE-10 TO 11TH	
1458	3		4A	SC GARDEN ST GR ZN U R DEV ENT, INC 79 NEWTON AVE CAMDEN, NJ 08103		
1458	3	BLDG	15F	SC GARDEN ST GR ZN U R DEV ENT, INC 79 NEWTON AVE CAMDEN, NJ 08103		
1459	9		4A	SC GARDEN ST GR ZN U R DEV ENT, INC ONE SUBARU DRIVE CAMDEN, NJ 08103		
1459	9	BLDG	15F	SC GARDEN ST GR ZN U R DEV ENT, INC ONE SUBARU DRIVE CAMDEN, NJ 08103		
1460	15		4B	CAMPBELL SOUP COMPANY PO BOX 32368 CHARLOTTE, NC 28232	375 MEMORIAL AVE	
1460	15.01		4A	CAMPBELL URBAN RENEWAL CORPORATION ONE CAMPBELL PLACE PO BOX 32368 CHARLOTTE, NC 28232		
1460	15.01	X	15F	CAMPBELL URBAN RENEWAL CORPORATION ONE CAMPBELL PLACE PO BOX 32368 CHARLOTTE, NC 28232		
1464	4		1	EDS INVESTMENTS, LLC PO BOX 32368 CHARLOTTE, NC 28232	1350 ADMIRAL WILSON BLVD	
1464	4	B01	4A	EDS INVESTMENTS, LLC PO BOX 32368 CHARLOTTE, NC 28232	1350 ADMIRAL WILSON BLVD	
1464	5		1	EDS INVESTMENTS, LLC PO BOX 32368 CHARLOTTE, NC 28232	250 MEMORIAL AVE	
1465	5		15C	NJ DEPT OF TRANSPORTATION PO BOX 600 TRENTON, NJ 08625	1311-1325 ADMIRAL WILSON	

OWNER/APPLICANT:
SC GARDEN STATE GROWTH ZONE URBAN RENEWAL DEVELOPMENT ENTITY, INC.
ONE SUBARU DRIVE
CAMDEN, NJ 08103

CIVIL ENGINEER:
LANGAN ENGINEERING & ENVIRONMENTAL SERVICES, INC.
1 UNIVERSITY SQUARE DRIVE, SUITE 1100
PRINCETON, NJ 08540

NJ CERTIFICATION OF AUTHORIZATION NO:
24GA27996400

APPROVED BY CITY OF CAMDEN PLANNING BOARD
PRELIMINARY & FINAL SITE PLAN

CHAIRMAN OF THE PLANNING BOARD

SECRETARY OF THE PLANNING BOARD

ZONING OFFICER/ADMINISTRATIVE OFFICER

PLANNING BOARD ENGINEER

Date	Description	No.
Revisions		
Signature Date KYLE J. MACGEORGE, P.E. PROFESSIONAL ENGINEER NJ LIC. NO. 24GE05751600		
 Langan Engineering and Environmental Services, Inc. 1 University Square Drive, Suite 110 Princeton, NJ 08540 T: 609.282.8000 F: 609.282.8001 www.langan.com NJ CERTIFICATE OF AUTHORIZATION NO. 24GA27996400		
Project SUBARU TRAFFIC CALMING AMENDED SITE PLAN FOR BLOCK 1459, LOT 9 1 SUBARU DRIVE CAMDEN CAMDEN COUNTY NEW JERSEY		
Drawing Title <h1 style="font-size: 2em;">COVER SHEET</h1>		
Project No. 220140301		<h1 style="font-size: 3em;">GI101</h1>
Date 15 DECEMBER 2023		
Drawn By JIL		
Checked By JCW		
Drawing No. Sheet 1 of 13		

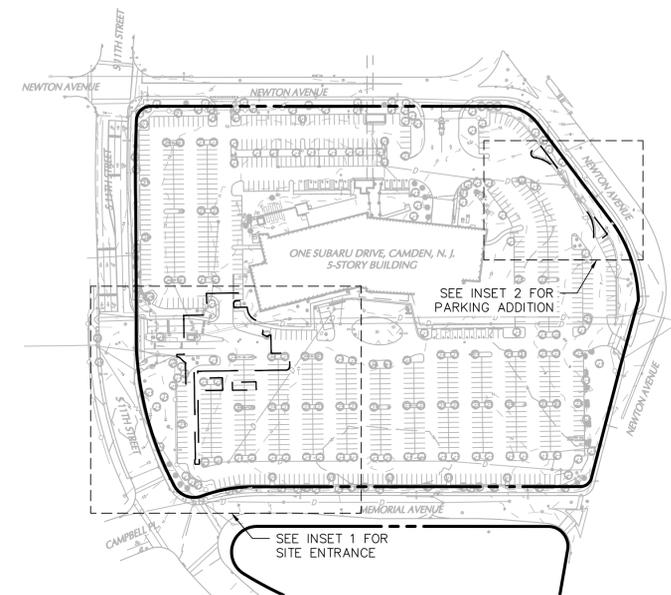
Project No. 220140301 © 2023 Langan

LEGEND

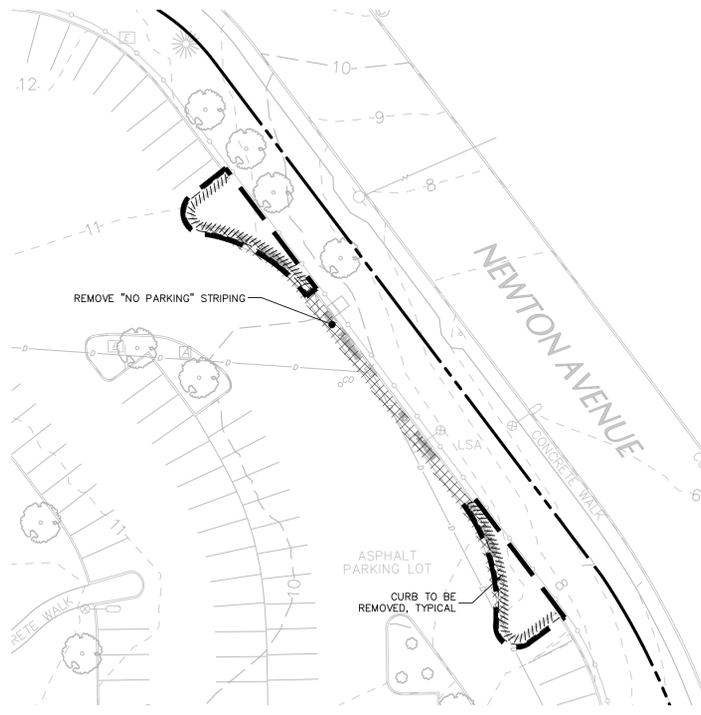
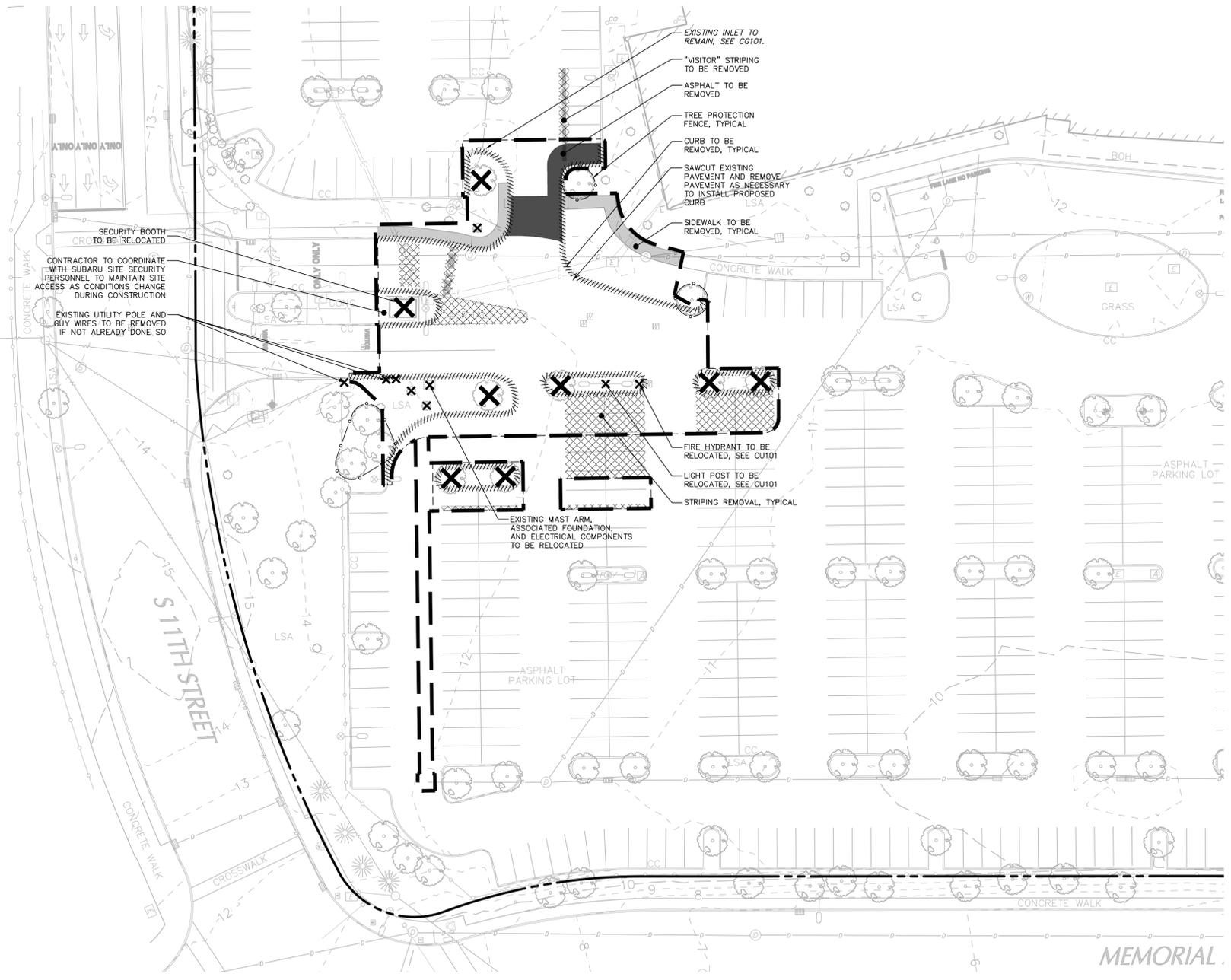
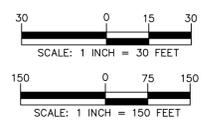
- EXISTING FEATURE TO BE REMOVED
- EXISTING STRIPING TO BE REMOVED
- ASPHALT REMOVAL
- SIDEWALK REMOVAL
- CURB DEMOLITION
- LIMIT OF DISTURBANCE
- PROPERTY LINE
- PAVEMENT SAWCUT LINE
- TREE PROTECTION FENCE

SITE DEMOLITION NOTES

1. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO THE EXECUTION OF CONTRACTS OR COMMENCING WORK. ANY DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER OF RECORD.
2. THE CONTRACTOR SHALL DEMOLISH ALL BUILDINGS, PAVEMENT, ETC. WHERE INDICATED WITHIN THE LIMIT OF DISTURBANCE. EDGES OF PAVEMENT DEMOLITION SHALL BE SAW CUT. DEMOLISHED CONCRETE AND ASPHALT SHALL BE CRUSHED TO THE DIMENSIONS INDICATED IN THE PROJECT GEOTECHNICAL REPORT AND STOCKPILED FOR REUSE AS SITE FILL. ALL DEMOLITION AND MATERIAL REUSE SHALL BE IN ACCORDANCE WITH ENVIRONMENTAL REQUIREMENTS FOR THE SITE.
3. THE CONTRACTOR MUST ACCEPT THE SITE AS IS AND SHALL BE DEEMED TO HAVE INSPECTED THE SITE AND REVIEWED ALL CONTRACT DOCUMENTS PRIOR TO SUBMITTING A BID. THE CONTRACTOR SHALL INSPECT THE SITE THOROUGHLY AND FIELD VERIFY THE LOCATION AND DEPTH OF ALL APPLICABLE EXISTING UTILITIES. SOME UNDERGROUND UTILITIES MAY BE LOCATED DIFFERENT THAN SHOWN ON THIS PLAN. ALL CONTRACTORS USING THESE PLANS FOR DEMOLITION OR CONSTRUCTION SHALL CONFIRM ALL UTILITIES IN THE FIELD TO ESTABLISH LOCATIONS, SIZES, MATERIALS, AND ELEVATIONS. ANY DISCREPANCIES SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND THE CONSTRUCTION MANAGER. CONTRACTOR SHALL PROTECT AND MAINTAIN UTILITIES AS NOTED.
4. THE CONTRACTOR SHALL CARRY OUT THE WORK OF THIS CONTRACT PLACING THE SAFETY AND PROTECTION OF THE SURROUNDING COMMUNITY AND PROPERTY AT THE HIGHEST PRIORITY. THE CONTRACTOR SHALL ENSURE FREE AND SAFE PASSAGE OF PERSONS AROUND THE AREA OF THE DEMOLITION AS DIRECTED BY THE GOVERNING AGENCIES AND THE OWNER. ALL OPERATIONS SHALL BE CONDUCTED SO AS TO PREVENT DAMAGE TO ADJACENT BUILDINGS, STRUCTURES, AND OTHER FACILITIES AND INJURY TO PERSONS, BOTH PEDESTRIAN AND WORKERS ALIKE. THE CONSULTANT DOES NOT HAVE THE RIGHT TO STOP DEMOLITION ACTIVITIES. SUCH DIRECTION MUST COME FROM THE OWNER.
5. THE CONTRACTOR SHALL INSTALL AND MAINTAIN CONSTRUCTION SIGNAGE AND ASSOCIATED TRAFFIC MEASURES. THE CONTRACTOR SHALL FOLLOW THE WORK ZONE SAFETY GUIDELINES FOR CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS REQUIRED BY LOCAL JURISDICTION.
6. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING THE SECURITY OF THE PROJECT SITE AT ALL TIMES.
7. THE CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL UTILITIES, WHETHER SHOWN OR NOT ON THE CONTRACT DRAWING, AND SHALL ABANDON, REMOVE, OR PROTECT THE UTILITIES AS INDICATED HEREON OR AS DIRECTED BY THE OWNER, SUBCONSULTANT, OR INTERESTED UTILITY COMPANY.
8. THE CONTRACTOR SHALL VERIFY THAT A SOIL EROSION AND SEDIMENT CONTROL PERMIT HAS BEEN OBTAINED FOR DEMOLITION ACTIVITIES. CONTRACTOR SHALL COMPLY WITH THE CONDITIONS THEREON BY INSTALLING AND MAINTAINING ALL SESC MEASURES AND MAKING THE REQUIRED NOTIFICATIONS.
9. PRIOR TO DEMOLITION, THE CONTRACTOR SHALL VERIFY THAT THE UTILITY SERVICES TO BE DEMOLISHED WILL NOT AFFECT OTHER SERVICES OUTSIDE THE CONTRACT LIMIT.
10. PRIOR TO DEMOLITION, THE CONTRACTOR SHALL DISCONNECT AND CAP/TERMINATE AT THE UTILITY MAIN ALL BUILDING SERVICES, E.G. WATER, SEWER, GAS, ELECTRIC, TELEPHONE, ETC. (UNLESS OTHERWISE NOTED) IN ACCORDANCE WITH ALL LOCAL REGULATIONS AND UTILITY COMPANY REQUIREMENTS. THIS WORK SHALL INCLUDE COORDINATION WITH UTILITY COMPANIES AND OBTAINING AND PAYING FEES FOR ALL STREET AND SIDEWALK OPENING PERMITS.
11. ALL EXISTING SITE ELEMENTS SLATED FOR DEMOLITION SHALL BE REMOVED IN THEIR ENTIRETY INCLUDING, BUT NOT LIMITED TO, ASPHALT, BUSHES, TREES, PLANTERS, ETC. WITHIN THE CONTRACT LIMITS UNLESS OTHERWISE NOTED.
12. CONTRACTOR TO VERIFY THAT ALL ENVIRONMENTAL CONCERNS (ASBESTOS, LEAD BASED PAINT, HAZMAT MATERIALS, UNDERGROUND STORAGE TANKS, TRANSFORMERS, ETC.) HAVE BEEN REMOVED PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES. THESE POTENTIAL CONCERNS ARE NOT SHOWN ON THIS PLAN. THE CONTRACTOR SHALL REFER TO THE ENVIRONMENTAL REPORTS AND DOCUMENTS FOR ENVIRONMENTAL CONCERN LOCATIONS AND DISPOSAL PROCEDURES.
13. CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL ADJACENT RIGHT-OF-WAYS AND ADJACENT PROPERTIES CLEAN DURING DEMOLITION.
14. CONTRACTOR SHALL STOCKPILE REMOVED ASPHALT AND CONCRETE IN SEPARATE PILES. REMOVED MATERIAL MAY BE REUSED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT AND ENVIRONMENTAL REQUIREMENTS.
15. CONTRACTOR TO PROVIDE DUST CONTROL MEASURES DURING DEMOLITION AND CONSTRUCTION ACTIVITIES.
16. CONTRACTOR TO WASH TRUCK TIRES BEFORE EXITING THE CONSTRUCTION SITE.
17. EXISTING IRRIGATION WELLS ONSITE SHALL BE DECOMMISSIONED BY NJ LICENSED WELL DRILLER.
18. PER CITY ORDINANCE ALL UTILITY SERVICES TO BE ABANDONED ARE TO BE DISCONNECTED AT THE MAIN AND REMOVED FROM THE GROUND.



3 KEY MAP
1" = 150'



2 PARKING ADDITION INSET
1" = 30'

1 11TH STREET SITE ENTRANCE INSET
1" = 30'

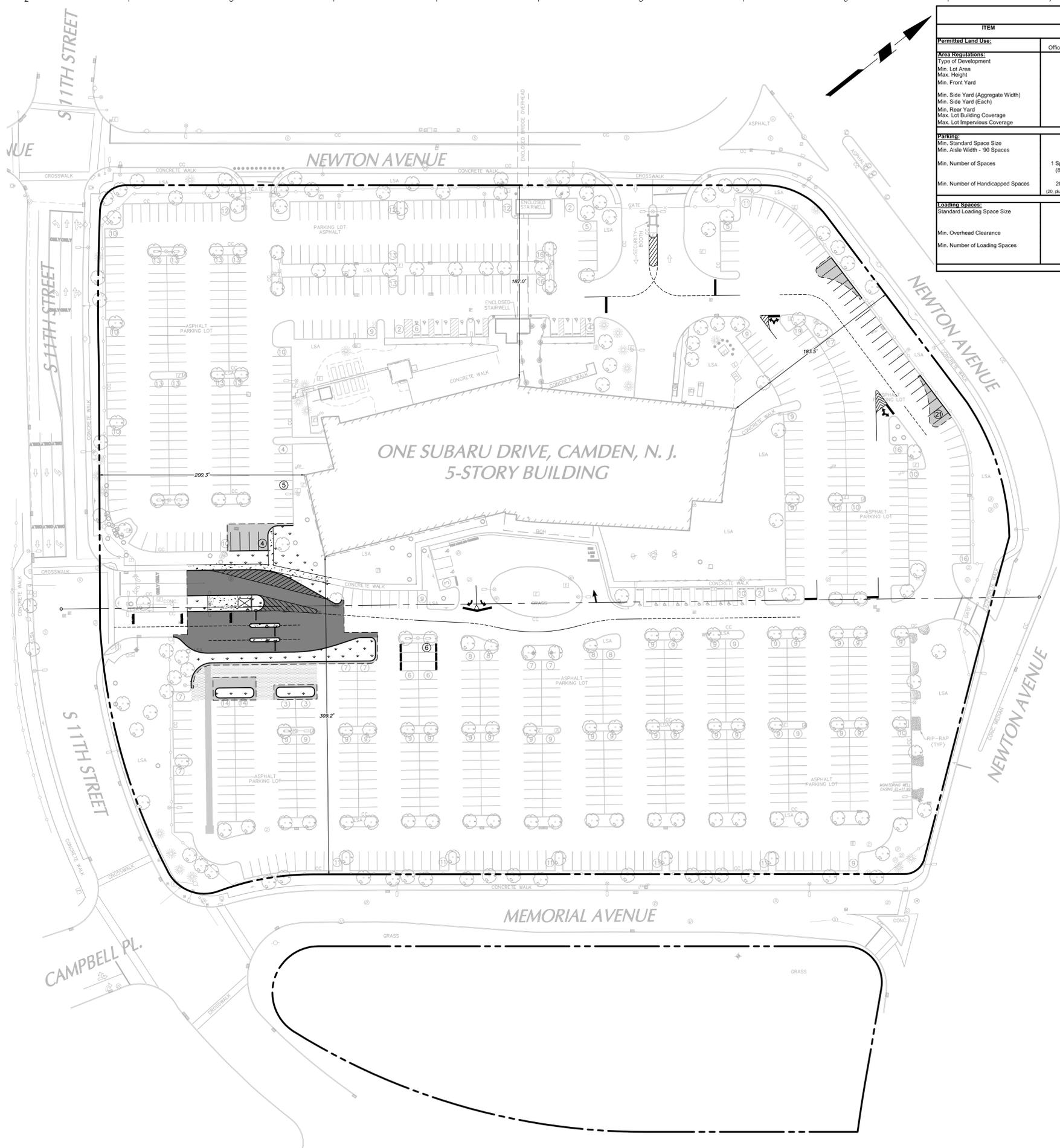
Date	Description	No.
Revisions		
Signature: KYLE J. MACGEORGE, P.E. PROFESSIONAL ENGINEER NJ LIC. NO. 24GE05751600		
LANGAN Langan Engineering and Environmental Services, Inc. 1 University Square Drive, Suite 110 Princeton, NJ 08540 T: 609.282.8000 F: 609.282.8001 www.langan.com NJ CERTIFICATE OF AUTHORIZATION NO. 24GA27996400		
Project SUBARU TRAFFIC CALMING AMENDED SITE PLAN FOR BLOCK 1459, LOT 9 1 SUBARU DRIVE CAMDEN CAMDEN COUNTY NEW JERSEY		
Drawing Title SITE DEMOLITION PLAN		
Project No. 220140301	Drawing No. CD101	
Date 15 DECEMBER 2023	Sheet 2 of 13	
Drawn By JLL	Checked By JCW	

LEGEND

	CURB
	GRASS
	CONCRETE
	STANDARD DUTY ASPHALT
	HEAVY DUTY ASPHALT
	MILL AND OVERLAY
	CONSTRUCTION BASELINE
	PROPERTY LINE
	PAVEMENT SAWCUT LINE

- SITE NOTES**
- OWNER/APPLICANT: SC GARDEN STATE GROWTH ZONE URBAN RENEWAL DEVELOPMENT ENTITY, INC. ONE SUBARU DRIVE CAMDEN, NJ 08103
 - THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO THE EXECUTION OF CONTRACTS OR COMMENCING WORK. ANY DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER OF RECORD.
 - AS PER THE NATIONAL FLOOD INSURANCE PROGRAM FIRM MAPS TITLED "CITY OF CAMDEN, CAMDEN COUNTY, NEW JERSEY, COMMUNITY PANEL 34007C0028F, LAST REVISED 08/17/2016" THE PROPERTY LIES IN "ZONE AE", DESCRIBED BY FEMA AS "SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD" WITH BASE FLOOD ELEVATION DETERMINED AS ELEVATION 10 IN NAVD88. THE PROPERTY ALSO LIES IN "OTHER FLOOD AREAS: ZONE X", DESCRIBED BY FEMA AS "AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD". THE PROPERTY ALSO LIES IN "OTHER AREAS: ZONE X" DESCRIBED BY FEMA AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN".
 - PROPOSED SITE IMPROVEMENTS DO NOT TAKE PLACE WITHIN ZONE AE.
 - ALL CURBS TO BE 6 INCHES UNLESS OTHERWISE SPECIFIED.
 - ALL REGULATORY SIGNS AND TRAFFIC MARKINGS SHALL COMPLY WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 - SEE SHEET CS101 FOR DELINEATION OF PAVING MATERIALS.
 - SEE SHEET CS201 FOR STRIPING AND SIGNAGE.

ALL PROPOSED CURBS SHALL BE 6" REVEAL CITY OF CAMDEN VERTICAL CURB, UNLESS OTHERWISE NOTED, REGARDLESS OF WIDTH FROM FACE OF CURB TO BACK OF CURB SHOWN ON PLAN.



CITY OF CAMDEN - ZONING REQUIREMENTS
OFFICE LIGHT INDUSTRIAL (OLI) DISTRICT

ITEM	REQUIRED/PERMITTED	EXISTING	PROPOSED	STATUS (C/W/V)	ORDINANCE SECTION
Permitted Land Use:	Professional Offices Office Buildings and Office Complex	Office Building	11th Street Entrance Reconfiguration On Site Parking Improvements	C	§577-112
Area Regulations:	Non-Residential Min. Lot Area 40,000 SF 4 stories or 45 FL 10 FL	Non-Residential 548,170 SF (12.584 Ac.) 5 Stories 185.9 FL (Newton), 182.7 FL (Federal St.) 200.5 FL (11th St.), 309.4 (Memorial Ave)	Non-Residential 548,170 SF (12.584 Ac.) 5 Stories 185.9 FL (Newton), 182.7 FL (Federal St.) 200.5 FL (11th St.), 309.4 (Memorial Ave)	C C V C	§870-115 Table 14 §870-115 Table 14 §870-115 Table 14 §870-115 Table 14
Min. Side Yard (Aggregate Width)	50 FL	N.A.	N.A.	C	§870-115 Table 14
Min. Side Yard (Each)	20 FL	N.A.	N.A.	C	§870-115 Table 14
Min. Rear Yard	30 FL	N.A.	N.A.	C	§870-115 Table 14
Max. Lot Building Coverage	80%	9.12%	9.12%	C	§870-115 Table 14
Max. Lot Impervious Coverage	90%	74.8%	74.8%	C	§870-115 Table 14
Parking:	Min. Standard Space Size 9' x 18' 24 FL	8' x 18' 24 FL	8' x 18' 24 FL	W C	§870-231 B.1.a §870-231 B.1.a
Min. Aisle Width - 90 Spaces	1 Space/300 SF GFA (Office Use) (620 Parking Stalls Required)	930 Parking Stalls	936 Parking Stalls	C	§870-230.F
Min. Number of Spaces	20.31 Required = 20 Required (20, plus 1 for each fraction of 1,000 over 1,000)	20	22	C	2010 ADA Standards, Table 208.2
Min. Number of Handicapped Spaces					
Loading Spaces:					
Standard Loading Space Size	12' x 50'	12' x 50' (Adjacent to Bldg.) 18' x 90' (Car Carrier Loading Area)	12' x 50' (Adjacent to Bldg.)	C C	§870-231 C.2 §870-231 C.2
Min. Overhead Clearance	14 FL	> 14 FL	> 14 FL	C	§870-231 C.2
Min. Number of Loading Spaces	1 Loading Space	4 Loading Spaces (3 adjacent to bldg., 1 car carrier loading area)	3 Loading Spaces (3 adjacent to bldg)	C	§870-231 C.1 c

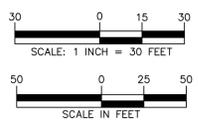
Date	Description	No.
Revisions		
Signature		Date
KYLE J. MACGEORGE, P.E. PROFESSIONAL ENGINEER NJ LIC. NO. 24GE05751600		

LANGAN
Langan Engineering and Environmental Services, Inc.
1 University Square Drive, Suite 110
Princeton, NJ 08540
T: 609.282.8000 F: 609.282.8001 www.langan.com
NJ CERTIFICATE OF AUTHORIZATION NO. 24GA27996400

Project
SUBARU TRAFFIC CALMING
AMENDED SITE PLAN FOR BLOCK 1459, LOT 9
1 SUBARU DRIVE
CAMDEN
CAMDEN COUNTY NEW JERSEY

Drawing Title
OVERALL SITE PLAN

Project No. 220140301	Drawing No. CS100
Date 15 DECEMBER 2023	CS100
Drawn By JIL	
Checked By JCW	Sheet 3 of 13



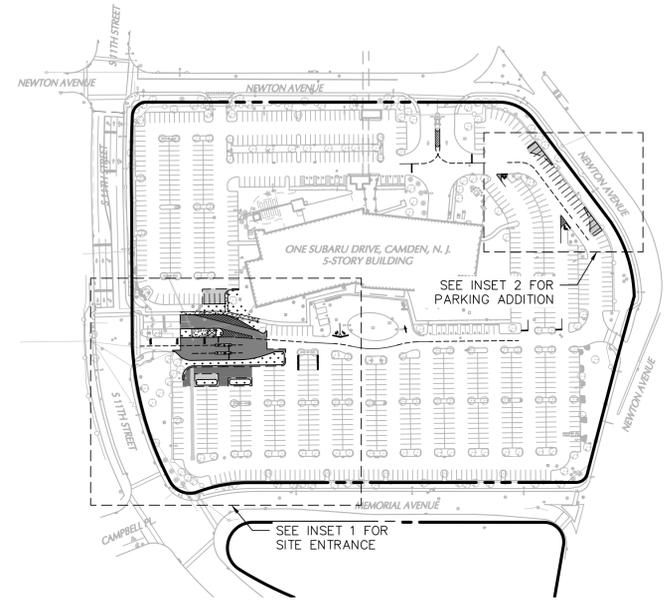
LEGEND

- CURB
- ▨ GRASS
- ▨ CONCRETE
- ▨ STANDARD DUTY ASPHALT
- ▨ HEAVY DUTY ASPHALT
- ▨ MILL AND OVERLAY
- - - CONSTRUCTION BASELINE
- PROPERTY LINE
- - - PAVEMENT SAWCUT LINE

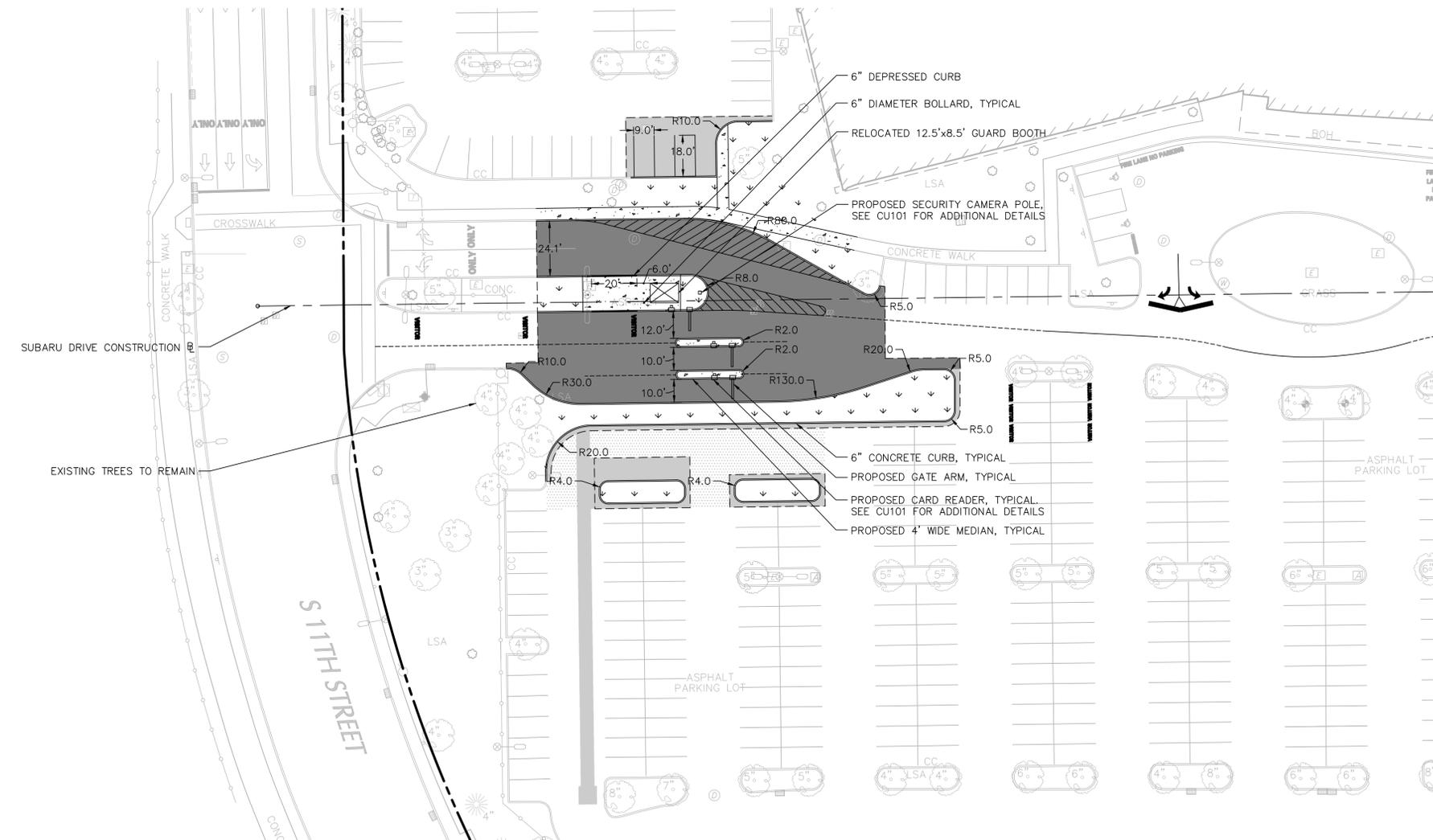
SITE NOTES

1. **OWNER/APPLICANT:** SC GARDEN STATE GROWTH ZONE URBAN RENEWAL DEVELOPMENT ENTITY, INC.
ONE SUBARU DRIVE
CAMDEN, NJ 08103
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7. SEE SHEET CS101 FOR DELINEATION OF PAVING MATERIALS.
8. SEE SHEET CS201 FOR STRIPING AND SIGNAGE.

ALL PROPOSED CURBS SHALL BE 6" REVEAL CITY OF CAMDEN VERTICAL CURB, UNLESS OTHERWISE NOTED, REGARDLESS OF WIDTH FROM FACE OF CURB TO BACK OF CURB SHOWN ON PLAN.



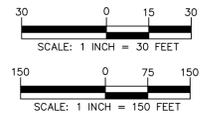
3 KEY MAP
1" = 150'



1 11TH STREET SITE ENTRANCE INSET
1" = 30'



2 PARKING ADDITION INSET
1" = 30'

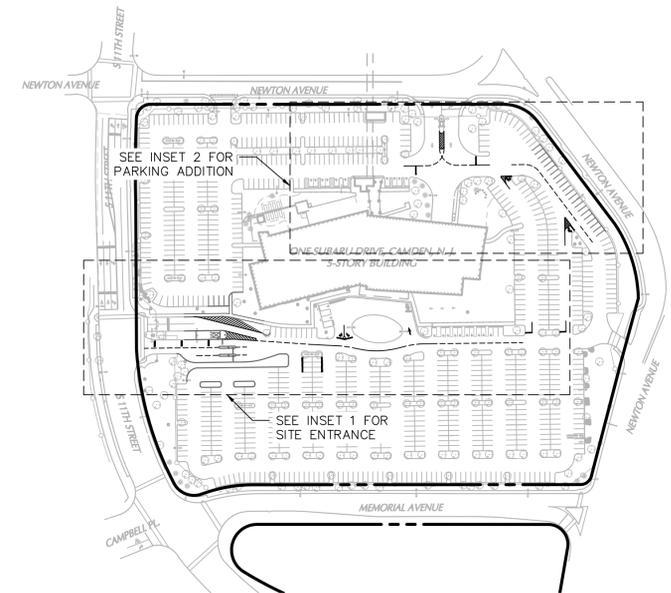
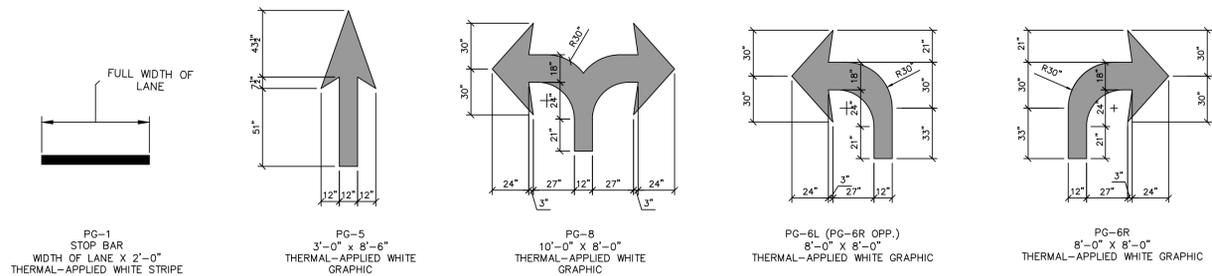


Date	Description	No.
Revisions		
Signature		Date
KYLE J. MACGEORGE, P.E. PROFESSIONAL ENGINEER NJ LIC. NO. 24GE05751600		
Langan Engineering and Environmental Services, Inc. 1 University Square Drive, Suite 110 Princeton, NJ 08540 T: 609.282.8000 F: 609.282.8001 www.langan.com NJ CERTIFICATE OF AUTHORIZATION NO. 24GA27996400		
Project		
SUBARU TRAFFIC CALMING AMENDED SITE PLAN FOR BLOCK 1459, LOT 9 1 SUBARU DRIVE CAMDEN		
CAMDEN COUNTY		NEW JERSEY
Drawing Title		
<h2 style="margin: 0;">SITE PLAN</h2>		
Project No.	Drawing No.	
220140301	CS101	
Date	Drawn By	
15 DECEMBER 2023	JLL	
Checked By	Sheet 4 of 13	
JCW		

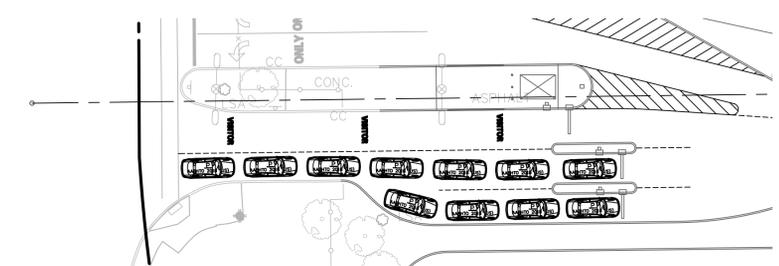
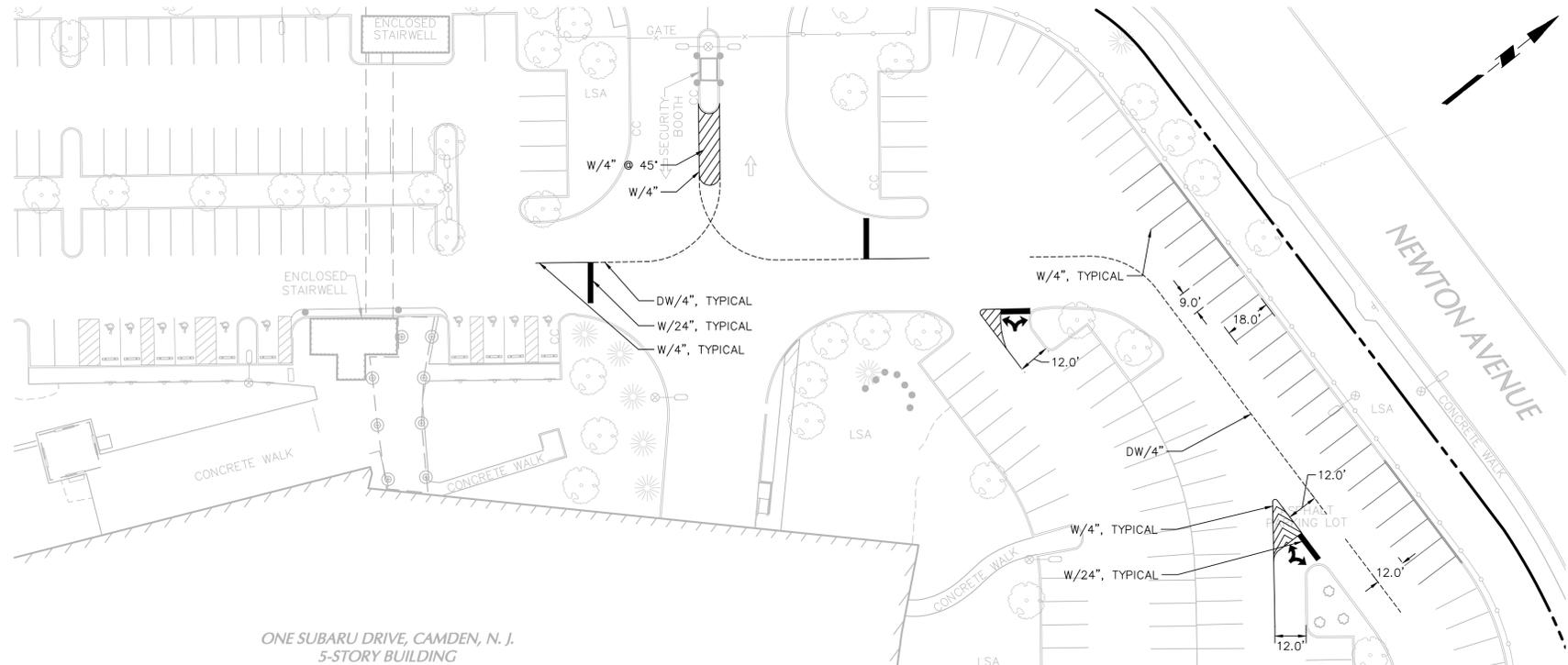
LEGEND

- SIGN
- CURB
- - - PROPERTY LINE

STRIPING LEGEND	
W/4"	4" WHITE STRIPE
DW/4"	4" DASHED WHITE STRIPE
W/24"	24" WHITE STRIPE

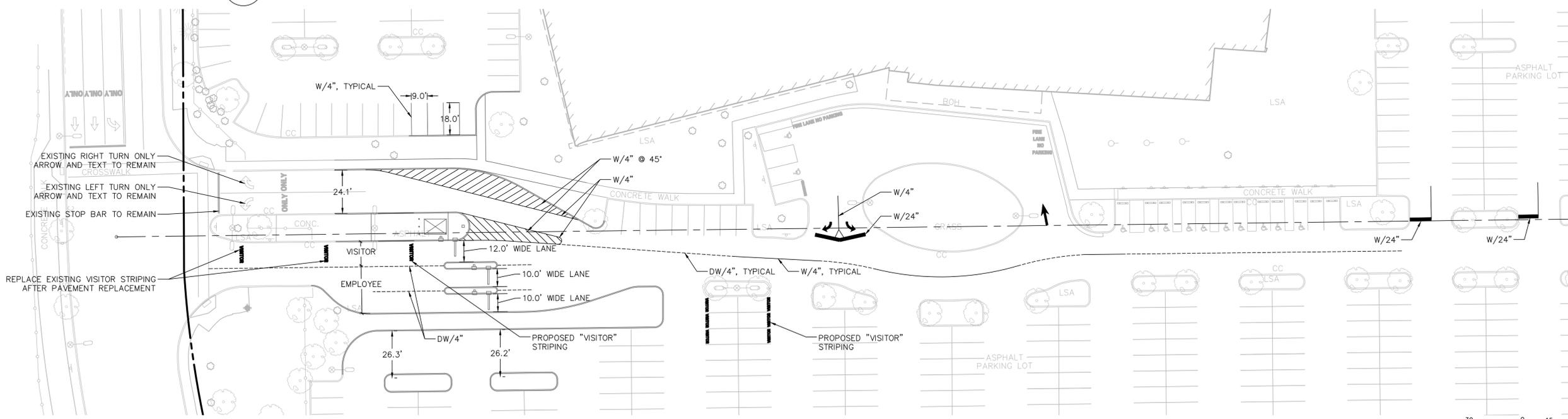


3 KEY MAP
1" = 150'



4 QUEUING INSET
1" = 30'

2 PARKING ADDITION INSET
1" = 30'



1 11TH STREET SITE ENTRANCE INSET
1" = 30'

Date	Description	No.
Revisions		

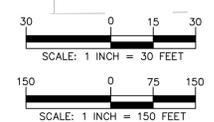
Signature: KYLE J. MACGEORGE, P.E.
Date: PROFESSIONAL ENGINEER NJ LIC. NO. 24GE05751600

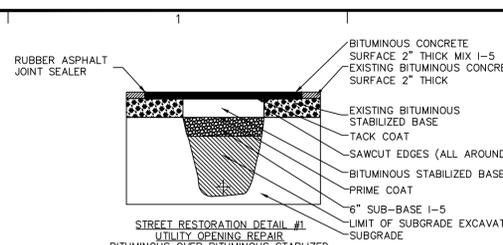
LANGAN
Langan Engineering and Environmental Services, Inc.
1 University Square Drive, Suite 110
Princeton, NJ 08540
T: 609.282.8000 F: 609.282.8001 www.langan.com
NJ CERTIFICATE OF AUTHORIZATION NO. 24GA27996400

Project: **SUBARU TRAFFIC CALMING**
AMENDED SITE PLAN FOR BLOCK 1459, LOT 9
1 SUBARU DRIVE
CAMDEN
CAMDEN COUNTY NEW JERSEY

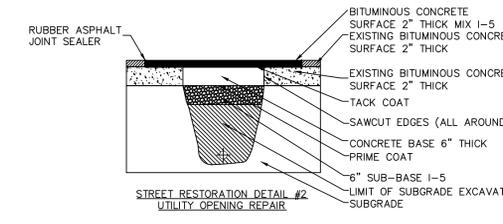
STRIPING & TURNING MOVEMENT PLAN

Project No. 220140301	Drawing No. CS201
Date 15 DECEMBER 2023	
Drawn By JIL	
Checked By JCW	



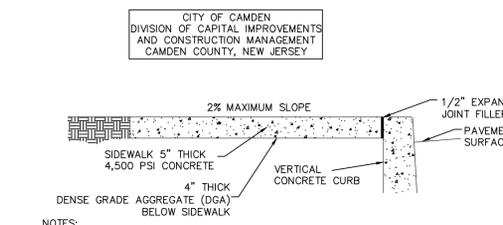


- NOTES:**
1. PROTECT SUBGRADES AND FOUNDATION SOILS FROM SOFTENING AND DAMAGE BY WATER, FREEZING TEMPERATURES OR FROST.
 2. EXCAVATE TO SUBGRADE ELEVATIONS REGARDLESS OF CHARACTER OF MATERIALS AND OBSTRUCTIONS ENCOUNTERED. TAMP SUBGRADE PRIOR TO PLACEMENT OF RESTORATION MATERIALS.
 3. BOX OUT EXISTING OPENINGS AS INDICATED ON DETAIL. SAW CUT EXISTING UTILITY STREET OPENING USING LONGITUDINAL AND TRAVERSE CUTS TO PROVIDE A NEAT EDGE AND SEAL JOINTS AS INDICATED.
 4. PLACE EACH MATERIAL AT DEPTH AND THICKNESS INDICATED. COMPACT EACH LAYER BY MEANS OF TAMPING.
 5. GRADE AREAS TO A SMOOTH SURFACE TO BLEND INTO EXISTING GRADES.
 6. UNDER PAVEMENTS AND WALKWAYS, PLACE SUB-BASE COURSE MATERIAL ON PREPARED SUBGRADES AS INDICATED OR DIRECTED BY ENGINEER AND COMPACT BY TAMPING TO REQUIRED THICKNESSES.
 7. REMOVE SURPLUS SATISFACTORY SOIL AND WASTE MATERIAL INCLUDING UNSATISFACTORY SOIL, TRASH, AND DEBRIS AND LEGALLY DISPOSE OF IT.



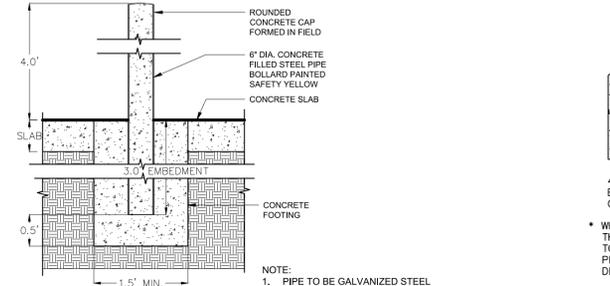
- NOTES:**
1. PROTECT SUBGRADES AND FOUNDATION SOILS FROM SOFTENING AND DAMAGE BY WATER, FREEZING TEMPERATURES OR FROST.
 2. EXCAVATE TO SUBGRADE ELEVATIONS REGARDLESS OF CHARACTER OF MATERIALS AND OBSTRUCTIONS ENCOUNTERED. TAMP SUBGRADE PRIOR TO PLACEMENT OF RESTORATION MATERIALS.
 3. BOX OUT EXISTING OPENINGS AS INDICATED ON DETAIL. SAW CUT EXISTING UTILITY STREET OPENING USING LONGITUDINAL AND TRAVERSE CUTS TO PROVIDE A NEAT EDGE AND SEAL JOINTS AS INDICATED.
 4. PLACE EACH MATERIAL AT DEPTH AND THICKNESS INDICATED. COMPACT EACH LAYER BY MEANS OF TAMPING.
 5. GRADE AREAS TO A SMOOTH SURFACE TO BLEND INTO EXISTING GRADES.
 6. UNDER PAVEMENTS AND WALKWAYS, PLACE SUB-BASE COURSE MATERIAL ON PREPARED SUBGRADES AS INDICATED OR DIRECTED BY ENGINEER AND COMPACT BY TAMPING TO REQUIRED THICKNESSES.
 7. REMOVE SURPLUS SATISFACTORY SOIL AND WASTE MATERIAL INCLUDING UNSATISFACTORY SOIL, TRASH, AND DEBRIS AND LEGALLY DISPOSE OF IT.

1 STREET RESTORATION DETAILS (CONTRACTOR TO FOLLOW DETAIL THAT APPLIES TO CONDITION FOUND ON SITE WHEN UTILITY TRENCHING OCCURS)
NOT TO SCALE



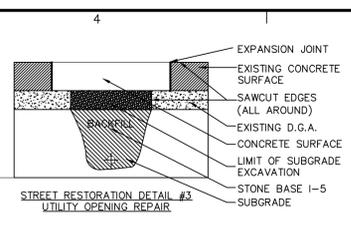
- NOTES:**
1. CONCRETE MUST BE PORTLAND CEMENT CONCRETE, AIR-ENTRAINED, CONFORM TO THE NJDOT STANDARD SPECIFICATIONS FOR CLASS B CONCRETE, AND MUST HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AFTER 28 DAYS.

3 SIDEWALK AND VERTICAL CONCRETE CURB
NOT TO SCALE

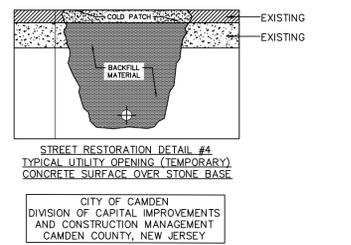


- NOTES:**
1. PIPE TO BE GALVANIZED STEEL
 2. BOLLARD PRIME PAINTED WITH SAFETY YELLOW PLASTIC SLEEVE

4 STEEL BOLLARD
NOT TO SCALE

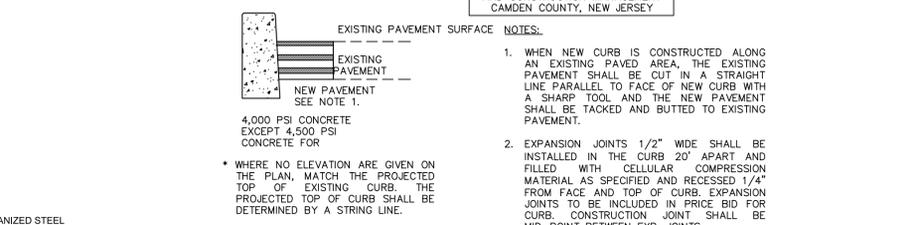


- NOTES:**
1. PROTECT SUBGRADES AND FOUNDATION SOILS FROM SOFTENING AND DAMAGE BY WATER, FREEZING TEMPERATURES OR FROST.
 2. EXCAVATE TO SUBGRADE ELEVATIONS REGARDLESS OF CHARACTER OF MATERIALS AND OBSTRUCTIONS ENCOUNTERED. TAMP SUBGRADE PRIOR TO PLACEMENT OF RESTORATION MATERIALS.
 3. BOX OUT EXISTING OPENINGS AS INDICATED ON DETAIL. SAW CUT EXISTING UTILITY STREET OPENING USING LONGITUDINAL AND TRAVERSE CUTS TO PROVIDE A NEAT EDGE AND SEAL JOINTS AS INDICATED.
 4. PLACE EACH MATERIAL AT DEPTH AND THICKNESS INDICATED. COMPACT EACH LAYER BY MEANS OF TAMPING.
 5. GRADE AREAS TO A SMOOTH SURFACE TO BLEND INTO EXISTING GRADES.
 6. UNDER PAVEMENTS AND WALKWAYS, PLACE SUB-BASE COURSE MATERIAL ON PREPARED SUBGRADES AS INDICATED OR DIRECTED BY ENGINEER AND COMPACT BY TAMPING TO REQUIRED THICKNESSES.
 7. REMOVE SURPLUS SATISFACTORY SOIL AND WASTE MATERIAL INCLUDING UNSATISFACTORY SOIL, TRASH, AND DEBRIS AND LEGALLY DISPOSE OF IT.



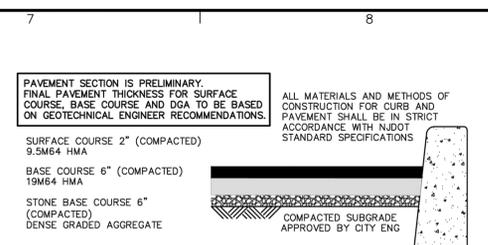
- NOTES:**
1. UTILITY TRENCHES: EXCAVATE TRENCHES TO INDICATED SLOPES, LINE DEPTHS AND INVERT ELEVATIONS. MAINTAIN 12 INCHES (300 mm) OF WORKING CLEARANCE ON EACH SIDE OF PIPE OR CONDUIT.
 2. PLACE, COMPACT AND SHAPE BEDDING COURSE TO PROVIDE CONTINUOUS SUPPORT FOR PIPES AND CONDUITS OVER ROCK AND OTHER UNYIELDING BEARING SURFACES AND TO FILL UNAUTHORIZED EXCAVATIONS.
 3. PLACE AND COMPACT INITIAL BACKFILL OF SATISFACTORY SOIL MATERIAL OR SUBBASE MATERIAL, FREE OF PARTICLES LARGER THAN 1 INCH (25 mm) TO A HEIGHT OF 12 INCHES (300 mm) OVER THE UTILITY PIPE OR CONDUIT. PLACE AND COMPACT FINAL BACKFILL OF SATISFACTORY SOIL MATERIAL TO FINAL SUBGRADE.
 4. PROVIDE TEMPORARY BITUMINOUS PATCH
 5. CHECK PATCHED AREA ROUTINELY FOR ANY SIGNS OF SETTLEMENT, REPAIR AS NEEDED.

5 7"x8"x18" VERTICAL CONCRETE CURB
NOT TO SCALE

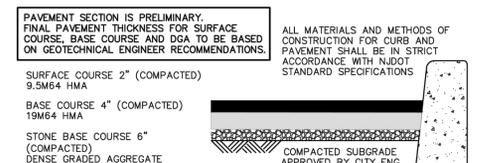


- NOTES:**
1. WHEN NEW CURB IS CONSTRUCTED ALONG AN EXISTING PAVED AREA, THE EXISTING PAVEMENT SHALL BE CUT IN A STRAIGHT LINE PARALLEL TO FACE OF NEW CURB WITH A SHARP TOOL. AND THE NEW PAVEMENT SHALL BE TACKED AND BUTTED TO EXISTING PAVEMENT.
 2. EXPANSION JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20' APART AND FILLED WITH CELLULAR COMPRESSION MATERIAL AS SPECIFIED AND RECESSED 1/4" FROM FACE AND TOP OF CURB. EXPANSION JOINTS TO BE INCLUDED IN PRICE BID FOR CURB. CONSTRUCTION JOINT SHALL BE MID-POINT BETWEEN EXP. JOINTS.

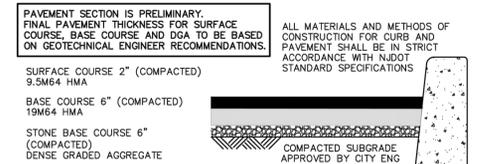
7 SECURITY CAMERA POLE
NOT TO SCALE



HEAVY DUTY PAVEMENT SECTION
N.T.S.

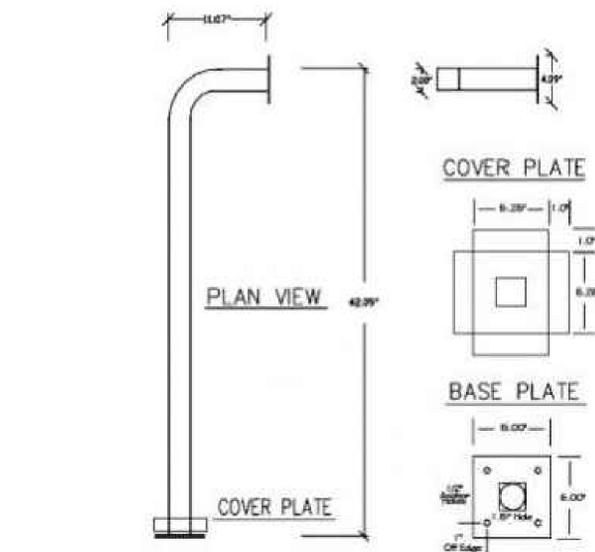


STANDARD PAVEMENT SECTION
N.T.S.

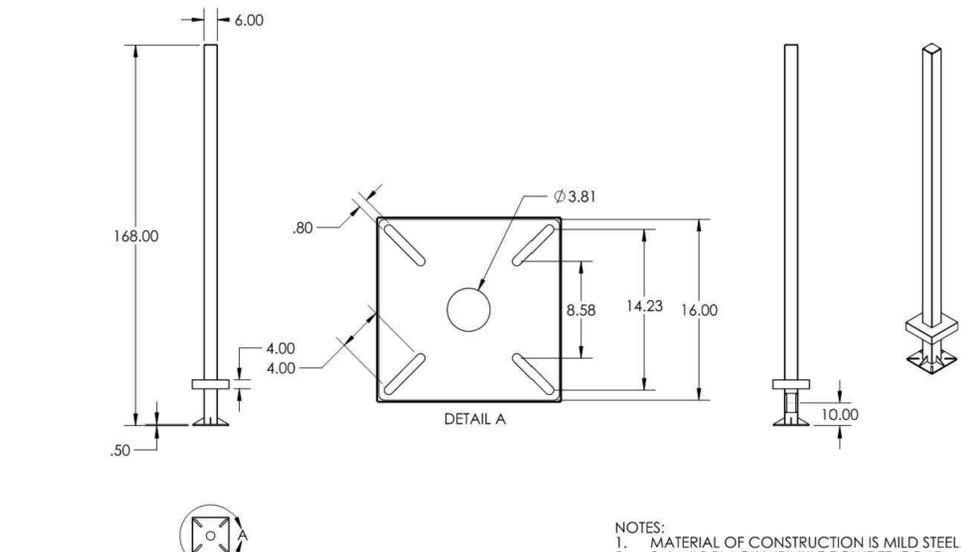


CITY OF CAMDEN ROAD PAVEMENT SECTION
N.T.S.

2 ON-SITE ASPHALT PAVEMENT
NOT TO SCALE



6 FREE STANDING PEDESTAL UNIT FOR CARD READER
NOT TO SCALE



7 SECURITY CAMERA POLE
NOT TO SCALE

- NOTES:**
1. MATERIAL OF CONSTRUCTION IS MILD STEEL.
 2. 2-4 MILS BLACK WRINKLE POWDER COAT.

Date	Description	No.
Revisions		
Signature _____ Date _____		
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SUBARU TRAFFIC CALMING AMENDED SITE PLAN FOR BLOCK 1459, LOT 9 1 SUBARU DRIVE CAMDEN		
CAMDEN COUNTY NEW JERSEY		
SITE DETAILS		
Project No.	Drawing No.	
220140301	CS501	
Date	15 DECEMBER 2023	
Drawn By	JIL	
Checked By	JCW	
Sheet 6 of 13		

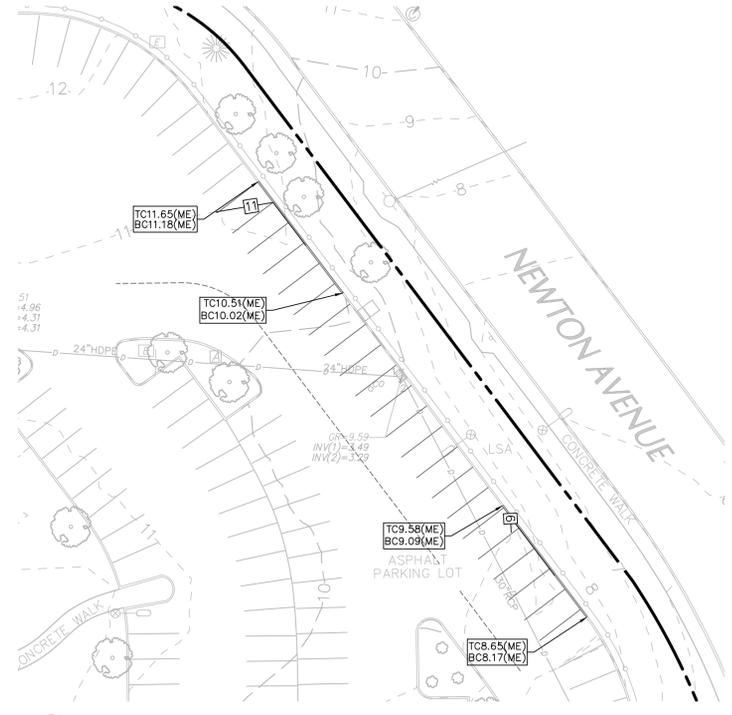
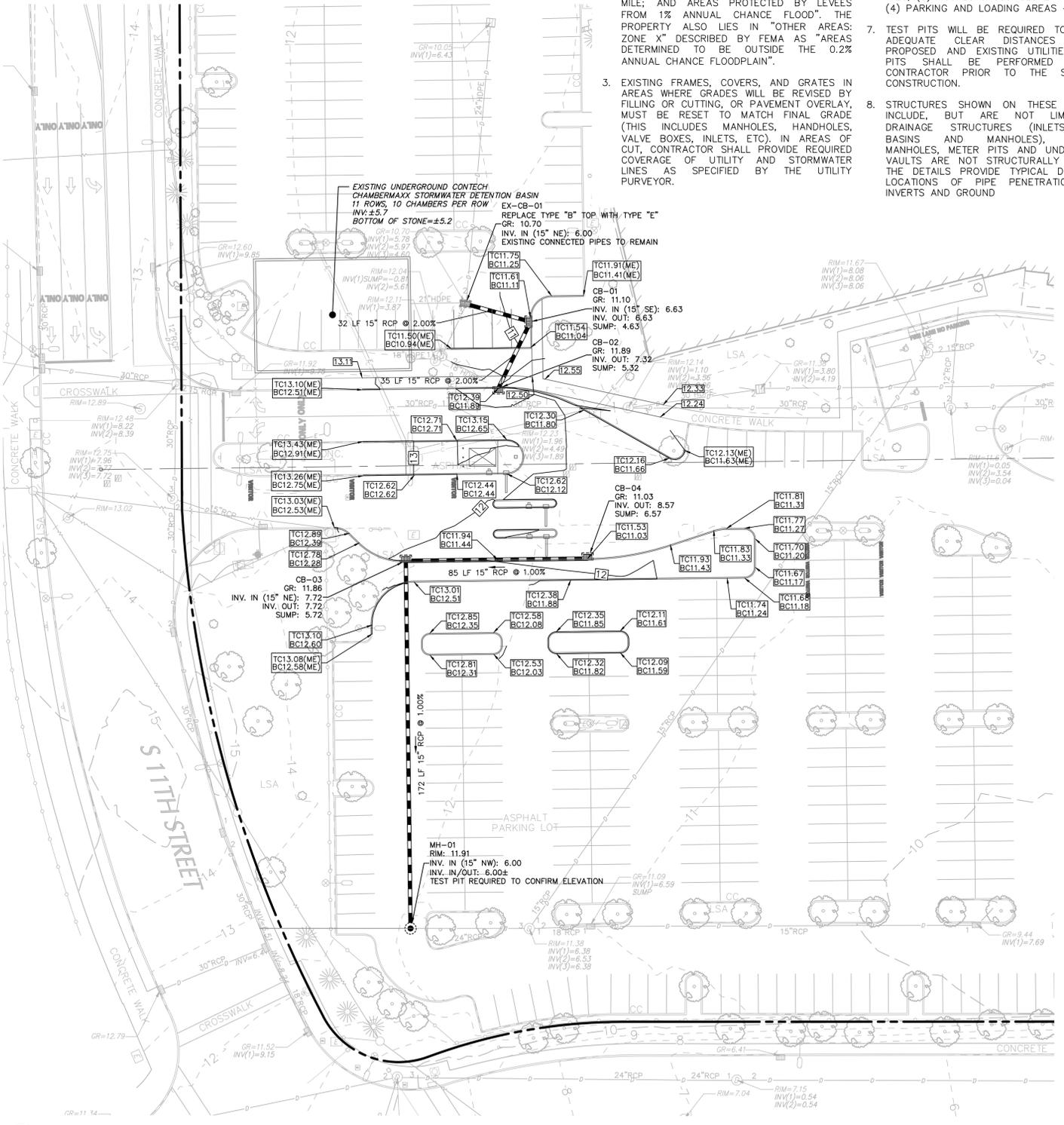
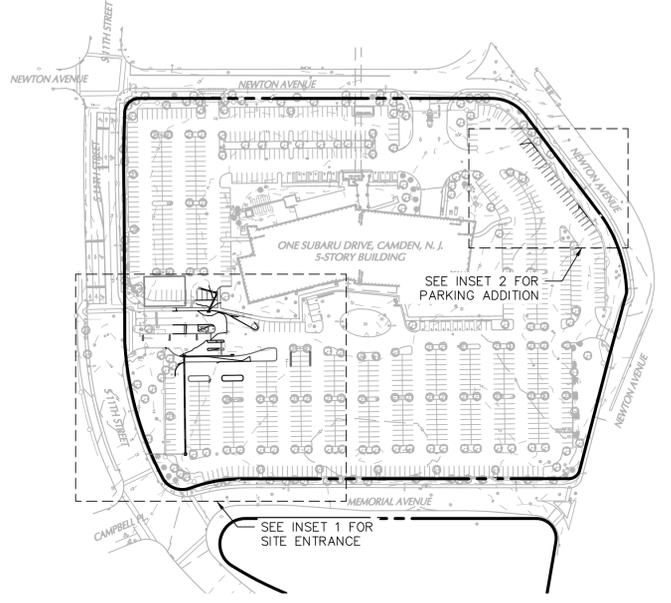
LEGEND

- PROPOSED PIPE
- PROPOSED SPOT ELEVATION
- PROPOSED SLOPE
- PROPOSED 1 FOOT CONTOUR LINE
- LIMIT OF DISTURBANCE
- PROPERTY LINE

GRADING AND DRAINAGE NOTES

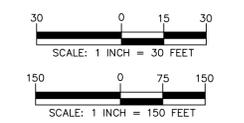
1. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO THE EXECUTION OF CONTRACTS OR COMMENCING WORK. ANY DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER OF RECORD.
2. AS PER THE NATIONAL FLOOD INSURANCE PROGRAM FIRM MAPS TITLED, "CITY OF CAMDEN, CAMDEN COUNTY, NEW JERSEY, COMMUNITY PANELS 34007C0028F, LAST REVISED 08/17/2016" THE PROPERTY PRIMARILY LIES IN "ZONE AE", DESCRIBED BY FEMA AS "SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD" WITH BASE FLOOD ELEVATION DETERMINED AS ELEVATION 10 IN NAVD88. THE PROPERTY ALSO LIES IN "OTHER FLOOD AREAS: ZONE X", DESCRIBED BY FEMA AS "AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD". THE PROPERTY ALSO LIES IN "OTHER AREAS: ZONE X" DESCRIBED BY FEMA AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN".
3. EXISTING FRAMES, COVERS, AND GRATES IN AREAS WHERE GRADES WILL BE REVISED BY FILLING OR CUTTING, OR PAVEMENT OVERLAY, MUST BE RESET TO MATCH FINAL GRADE (THIS INCLUDES MANHOLES, HANDHOLES, VALVE BOXES, INLETS, ETC.) IN AREAS OF CUT. CONTRACTOR SHALL PROVIDE REQUIRED COVERAGE OF UTILITY AND STORMWATER LINES AS SPECIFIED BY THE UTILITY PURVEYOR.
4. PROPOSED STORMWATER PIPING TRENCHES MAY REQUIRE OVER EXCAVATION IN AREAS NOT CAPABLE OF SUPPORTING THE PROPOSED SYSTEMS. STABILIZATION WITH APPROVED BEDDING MATERIALS WILL BE REQUIRED. OWNER'S GEOTECHNICAL ENGINEER MUST APPROVE BEDDING MATERIALS USED FOR STABILIZATION AND THE DEPTH OF THE OVER EXCAVATION.
5. CONTRACTOR IS RESPONSIBLE FOR LOCATING UTILITY CROSSINGS AND PROVIDING UTILITY DROPS AS REQUIRED. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF CROSSING CONFLICT OCCURS.
6. GRADING FOR ADA ACCESSIBLE ROUTES, RAMPS, PARKING AND LOADING SHALL BE IN ACCORDANCE WITH THE NEW JERSEY AMERICAN WITH DISABILITIES ACT ARCHITECTURAL BARRIER REMOVAL AND COMPLIANCE MANUAL. MAXIMUM SLOPES INCLUDE (1) RAMPS - 1:12, (2) ROUTES - 1:20, (3) ROUTES CROSS-SLOPE - 1:50 AND (4) PARKING AND LOADING AREAS - 1:50.
7. TEST PITS WILL BE REQUIRED TO CONFIRM ADEQUATE CLEAR DISTANCES BETWEEN PROPOSED AND EXISTING UTILITIES. TEST PITS SHALL BE PERFORMED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
8. STRUCTURES SHOWN ON THESE DRAWINGS INCLUDE, BUT ARE NOT LIMITED TO: DRAINAGE STRUCTURES (INLETS, CATCH BASINS AND MANHOLES), SANITARY MANHOLES, METER PITS AND UNDERGROUND VAULTS ARE NOT STRUCTURALLY DESIGNED. THE DETAILS PROVIDE TYPICAL DIMENSIONS, LOCATIONS OF PIPE PENETRATIONS, PIPE INVERTS AND GROUND
9. ALL GRADING, DRAINAGE, AND UTILITY INSTALLATION AND/OR CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS OR LOCAL REQUIREMENTS. SHOULD A DIFFERENCE IN REQUIREMENTS OCCUR, THE STRICTER OF THE TWO REGULATIONS WILL APPLY.
10. GRADE ALL AREAS OTHER THAN PAVED GRADED AREAS AND BUILDINGS, INCLUDING EXCAVATED AREAS, FILLED AND TRANSITION AREAS, AND LANDSCAPED AREAS TO FINISH GRADE ELEVATIONS OR CONTOURS AS INDICATED ON DRAWINGS. FINISHED SUBGRADE SURFACE SHALL BE UNIFORM AND SMOOTH, FREE FROM ROCK, DEBRIS, OR IRREGULAR SURFACE CHANGES. SITE SHALL BE GRADED TO ALLOW FOR PROPER DRAINAGE WITHOUT PONDING AND IN A MANNER THAT WILL MINIMIZE EROSION POTENTIAL.
11. ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC LOADING AND BE INSTALLED ACCORDINGLY.
12. ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL WATER TIGHT AND BE INSTALLED ACCORDINGLY.
13. SITE GRADING SHALL NOT PROCEED UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
14. LENGTHS OF STORM PIPES SHOWN ARE CENTER-TO-CENTER LENGTHS BETWEEN DRAINAGE STRUCTURES.
15. CONTRACTOR SHALL REVIEW ALL DRAINAGE CONNECTIONS TO MANHOLES AND CATCH BASINS AND INCREASE THE INLET BOX SIZES AS NECESSARY TO ACCOMMODATE THE PROPOSED INLET AND OUTLET PIPES.
16. ALL GRADING IS TO PROMOTE POSITIVE DRAINAGE AWAY FROM THE BUILDING.
17. EACH INLET BOX SHALL BE PROVIDED WITH CIRCULAR OPENINGS AT THE REQUIRED LOCATIONS AND ELEVATIONS FOR THE PROPER CONNECTION OF ALL PIPES. THE CIRCULAR CONNECTIONS SHALL BE SEALED WITH A FLEXIBLE SEAL ASSEMBLY SUCH AS C3-FLEXIBLE CONNECTOR BY A-LOK PRODUCTS, INC. OR APPROVED EQUAL.
18. REPORTED GROUNDWATER ELEVATIONS ARE BASED ON HIGHEST REPORTED VALUE FROM VARIOUS PRIOR SUBSURFACE EXPLORATIONS (BY OTHERS). GEOTECHNICAL REPORT TO BE PROVIDED UNDER SEPARATE COVER.
19. PROPOSED LANDSCAPE GRADING MUST NOT EXCEED 3:1.

3 KEY MAP
1" = 150'

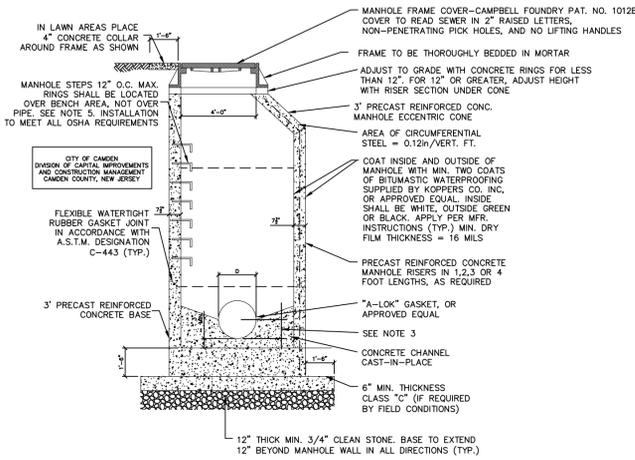


1 11TH STREET SITE ENTRANCE INSET
1" = 30'

2 PARKING ADDITION INSET
1" = 30'

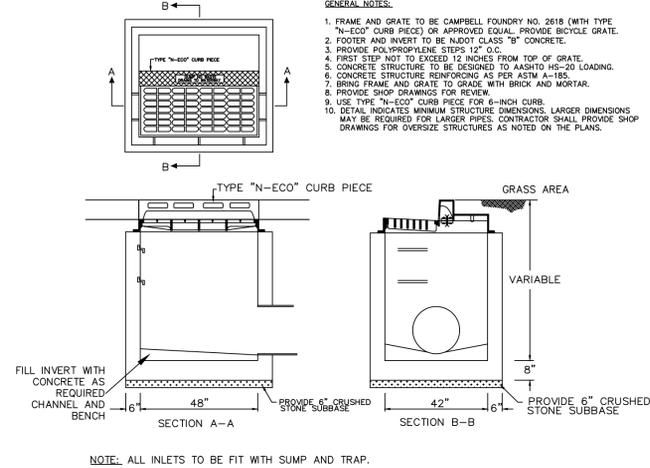


Date	Description	No.
Revisions		
Signature: KYLE J. MACGEORGE, P.E. Date: PROFESSIONAL ENGINEER NJ LIC. NO. 24GE05751600		
 Langan Engineering and Environmental Services, Inc. 1 University Square Drive, Suite 110 Princeton, NJ 08540 T: 609.282.8000 F: 609.282.8001 www.langan.com NJ CERTIFICATE OF AUTHORIZATION NO. 24GA27996400		
Project SUBARU TRAFFIC CALMING AMENDED SITE PLAN FOR BLOCK 1459, LOT 9 1 SUBARU DRIVE CAMDEN		
CAMDEN COUNTY NEW JERSEY Drawing Title		
GRADING & DRAINAGE PLAN		
Project No.	Drawing No.	
220140301	CG101	
Date	15 DECEMBER 2023	
Drawn By	JIL	
Checked By	JCW	
Sheet 7 of 13		

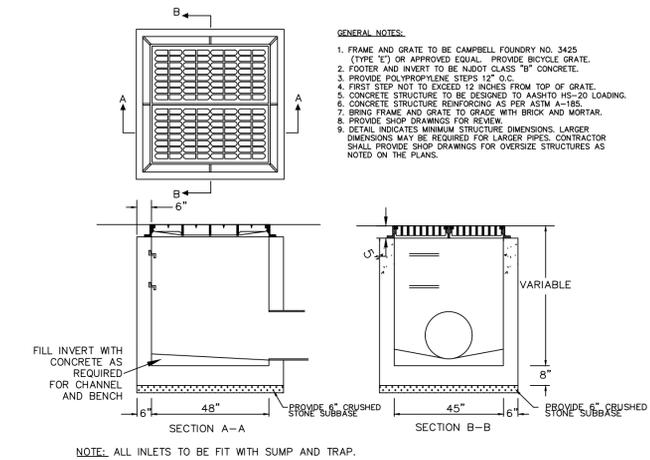


1 STORM/SANITARY MANHOLE (CAMDEN STANDARD 4' DIA. PRECAST MANHOLE)
NOT TO SCALE

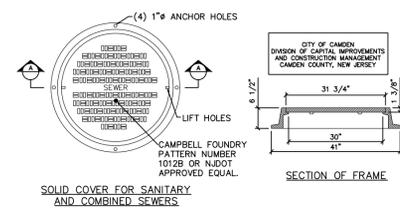
- NOTES:**
1. PRECAST MANHOLE IN ACCORDANCE WITH A.S.T.M. DESIGNATION C-478, MINIMUM COMPRESSIVE STRENGTH 4,000 P.S.I. (TYP.); MANHOLE TO BE MANUFACTURED BY ATLANTIC CONCRETE OR APPROVED EQUAL.
 2. ALL MANHOLES NOT LOCATED IN CROWN OF ROAD SHALL BE CONSTRUCTED WATERTIGHT WITHOUT THE USE OF A RUBBER GASKET. WATER TIGHTNESS MAY BE ACHIEVED BY DISH SHAPED INSERTS, WATERTIGHT CASTING, OR APPROVED EQUAL, DISH SHAPED WATERTIGHT INSERT SHALL BE SUPPLIED, TWO PER MANHOLE.
 3. SMOOTH CONCRETE CHANNEL WITH DEPTH EQUAL TO 0.80 TIMES THE DIA. OF THE MAIN SEWER FOR SIZES 8" TO 15" AND 0.50 TIMES THE DIA. FOR SIZES 16" AND ABOVE. (USE CLASS C CONCRETE).
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING ADEQUATE BALLAST TO OFFSET FLOTATION FORCES ACTING ON MANHOLES INSTALLED IN WET AREAS.
 5. POLYPROPYLENE RUNGS, WITH GRADE 60 STEEL REINFORCEMENT AND TEETH AND SIDE CLEATS, AS MANUFACTURED BY MA INDUSTRIES; STEEL RUNGS NOT ALLOWED FOR MANHOLES GREATER THAN 15'-0" DEEP, APPLICANT SHALL CONTACT T.M.J.A. FOR SPECIFIC MANHOLE REQUIREMENTS. ALL OSHA REQUIREMENTS MUST BE MET.
 6. ANY MANHOLE REQUIRING LINING SHALL HAVE MANHOLE RUNGS REMOVED AND HAVE A COMPOSITE LADDER INSTALLED.
 7. PROVIDE WRAPAROUND MANHOLE ENCAPSULATION SYSTEM, AS MANUFACTURED BY CANUSA-CPS, AROUND FRAME AND GRADE RINGS FOR ALL MANHOLES AND AROUND ALL RISER JOINTS. INSTALLATION SHALL BE PROVIDED IN ACCORDANCE WITH ALL OF MANUFACTURER'S REQUIREMENTS AND RECOMMENDATIONS.
 8. MANHOLE FRAME SHALL BE LAID IN 1-INCH MORTAR AND HAVE 1-INCH MORTAR AROUND THE RIM.
 9. THERE SHALL BE NO CHANGE IN FLOW DIRECTION GREATER THAN 90 DEGREES.



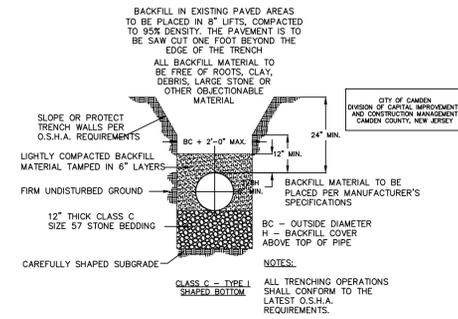
2 TYPE "B" INLET DETAIL
NOT TO SCALE



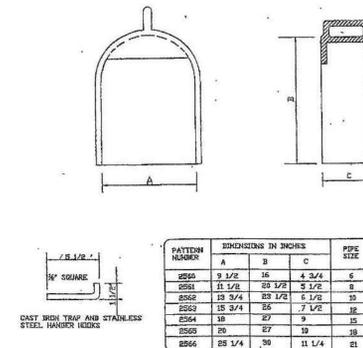
3 TYPE "E" INLET DETAIL
NOT TO SCALE



4 MANHOLE FRAME AND COVER
NOT TO SCALE



5 STORM SEWER BEDDING DETAIL
NOT TO SCALE



6 CITY OF CAMDEN STANDARD CAST IRON TRAP
NOT TO SCALE

Date	Description	No.
Revisions		

Signature: KYLE J. MACGEORGE, P.E.
PROFESSIONAL ENGINEER NJ LIC. NO. 24GE05751600

LANGAN
Langan Engineering and Environmental Services, Inc.
1 University Square Drive, Suite 110
Princeton, NJ 08540
T: 609.282.8000 F: 609.282.8001 www.langan.com
NJ CERTIFICATE OF AUTHORIZATION NO. 24GA27996400

Project: **SUBARU TRAFFIC CALMING**
AMENDED SITE PLAN FOR BLOCK 1459, LOT 9
1 SUBARU DRIVE
CAMDEN
CAMDEN COUNTY NEW JERSEY

GRADING & DRAINAGE DETAILS

Project No. 220140301	Drawing No. CG501
Date 15 DECEMBER 2023	
Drawn By JIL	
Checked By JCW	Sheet 8 of 13

LEGEND

- CFS— COMPOST FILTER SOCK
- TREE PROTECTION FENCE
- ⊘ INLET PROTECTION
- LIMIT OF DISTURBANCE
- PROPERTY LINE
- FLOW ARROWS
- PERVIOUS AREA
- IMPERVIOUS AREA

CAMDEN COUNTY SOIL EROSION AND SEDIMENT CONTROL NOTES

1. ALL APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATION AND/OR INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES.
2. SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.
3. APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND/OR THE AREA IS STABILIZED.
4. THE CONTRACTOR SHALL PERFORM ALL WORK, FURNISH ALL MATERIALS AND INSTALL ALL MEASURES REQUIRED TO REASONABLY CONTROL SOIL EROSION RESULTING FROM CONSTRUCTION OPERATIONS AND PREVENT EXCESSIVE FLOW OF SEDIMENT FROM THE CONSTRUCTION SITE.
5. ANY DISTURBED AREA THAT IS TO BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND FERTILIZATION IN ACCORDANCE WITH THE NEW JERSEY STANDARDS AND THEIR RATES SHOULD BE INCLUDED IN THE NARRATIVE. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS WILL BE MULCHED WITH SALT HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID MULCH BINDER).
6. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE CONFIRMATION OF LIME, FERTILIZER AND SEED APPLICATION AND RATES OF APPLICATION AT THE REQUEST OF THE CAMDEN COUNTY SOIL CONSERVATION DISTRICT.
7. ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH AT A RATE OF 2 TONS PER ACRE, ACCORDING TO THE NEW JERSEY STANDARDS IMMEDIATELY FOLLOWING ROUGH GRADING.
8. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
9. ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT.
10. A CRUSHED STONE, TIRE CLEANING PAD WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS EXISTS. THE STABILIZED PAD WILL BE INSTALLED ACCORDING TO THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS.
11. ALL DRIVEWAYS MUST BE STABILIZED WITH 2 1/2" CRUSHED STONE OR SUBBASE PRIOR TO INDIVIDUAL LOT CONSTRUCTION.
12. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
13. ALL CATCH BASIN INLETS WILL BE PROTECTED ACCORDING TO THE CERTIFIED PLAN.
14. ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
15. N.J.S.A. 4:24-39, ET SEQ. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE ALL PROVISIONS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES. ALL SITE WORK FOR THE PROJECT MUST BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE AS A PREREQUISITE TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
16. MULCHING IS REQUIRED ON ALL SEEDED AREAS TO INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED TO PROMOTE EARLIER VEGETATION COVER.
17. OFFSITE SEDIMENT DISTURBANCE MAY REQUIRE ADDITIONAL CONTROL MEASURES TO BE DETERMINED BY THE EROSION CONTROL INSPECTOR.
18. A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE MAINTAINED ON THE PROJECT SITE DURING CONSTRUCTION.
19. THE CAMDEN COUNTY SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY LAND DISTURBANCE.
20. ANY CONVEYANCE OF THIS PROJECT PRIOR TO ITS COMPLETION WILL TRANSFER FULL RESPONSIBILITY FOR COMPLIANCE WITH THE CERTIFIED PLAN TO ANY SUBSEQUENT OWNERS.
21. IMMEDIATELY AFTER THE COMPLETION OF STRIPPING AND STOCKPILING OF TOPSOIL, THE STOCKPILE MUST BE STABILIZED ACCORDING TO THE STANDARD FOR TEMPORARY VEGETATIVE COVER. STABILIZE TOPSOIL PILE WITH STRAW MULCH FOR PROTECTION IF THE SEASON DOES NOT PERMIT THE APPLICATION AND ESTABLISHMENT OF TEMPORARY SEEDING. ALL SOIL STOCKPILES ARE NOT TO BE LOCATED WITHIN FIFTY (50) FEET OF A FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY AND THE BASE MUST BE PROTECTED WITH A SEDIMENT BARRIER.
22. ANY CHANGES TO THE SITE PLAN WILL REQUIRE THE SUBMISSION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN TO THE CAMDEN COUNTY SOIL CONSERVATION DISTRICT. THE REVISED PLAN MUST BE IN ACCORDANCE WITH THE CURRENT NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.
23. METHODS FOR THE MANAGEMENT OF HIGH ACID PRODUCING SOILS SHALL BE IN ACCORDANCE WITH THE STANDARDS. HIGH ACID PRODUCING SOILS ARE THOSE FOUND TO CONTAIN IRON SULFIDES OR HAVE A pH OF 4 OR LESS.
24. TEMPORARY AND PERMANENT SEEDING MEASURES MUST BE APPLIED ACCORDING TO THE NEW JERSEY STANDARDS, AND MULCHED WITH SALT HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID MULCH BINDER).
25. MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT BE CONSTRUCTED STEEPER THAN 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
26. DUST IS TO BE CONTROLLED BY AN APPROVED METHOD ACCORDING TO THE NEW JERSEY STANDARDS AND MAY INCLUDE WATERING WITH A SOLUTION OF CALCIUM CHLORIDE AND WATER.
27. ADJOINING PROPERTY SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS ON THE PROPOSED SITE.
28. USE STAGED CONSTRUCTION METHODS TO MINIMIZE EXPOSED SURFACES, WHERE APPLICABLE.
29. ALL VEGETATIVE MATERIAL SHALL BE SELECTED IN ACCORDANCE WITH AMERICAN STANDARDS FOR NURSERY STOCK OF THE AMERICAN ASSOCIATION OF THE NURSERYMEN AND IN ACCORDANCE WITH THE NEW JERSEY STANDARDS.
30. NATURAL VEGETATION AND SPECIES SHALL BE RETAINED WHERE SPECIFIED ON THE LANDSCAPE PLAN.
31. THE SOIL EROSION INSPECTOR MAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE INSTALLED, AS DIRECTED BY THE DISTRICT INSPECTOR.

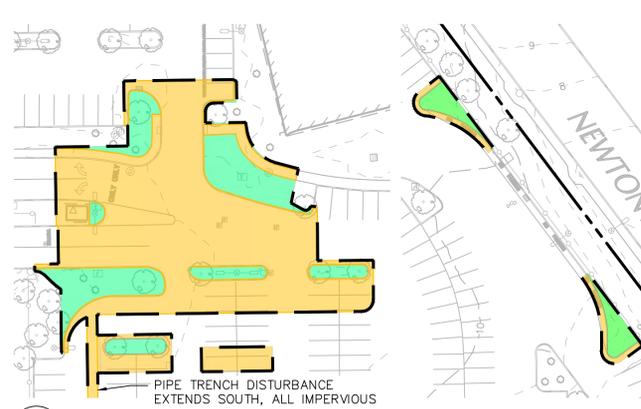
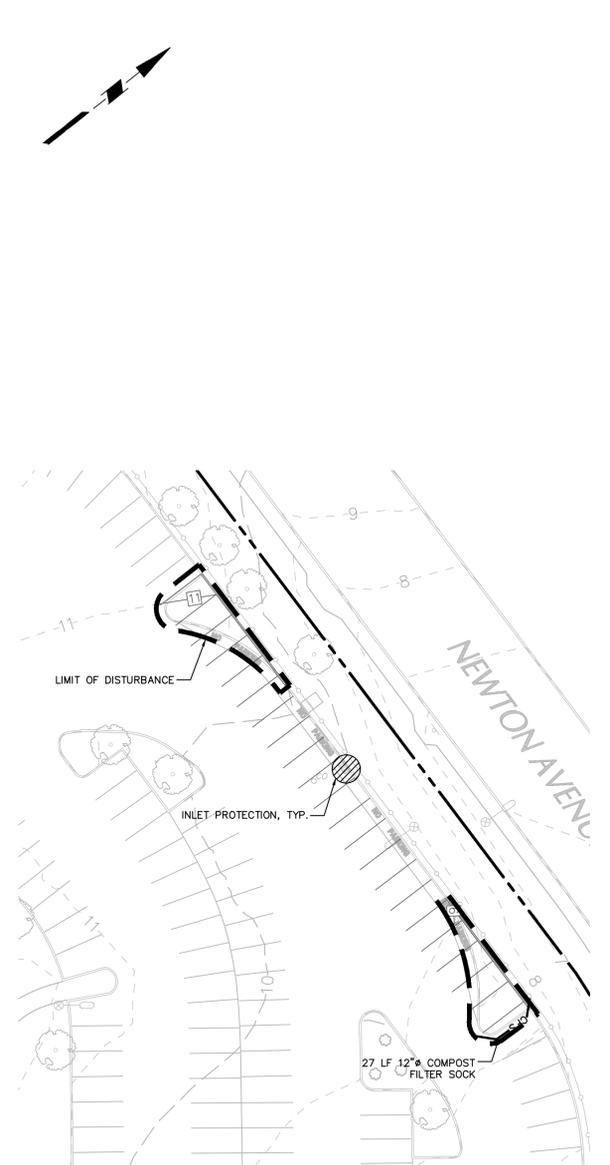
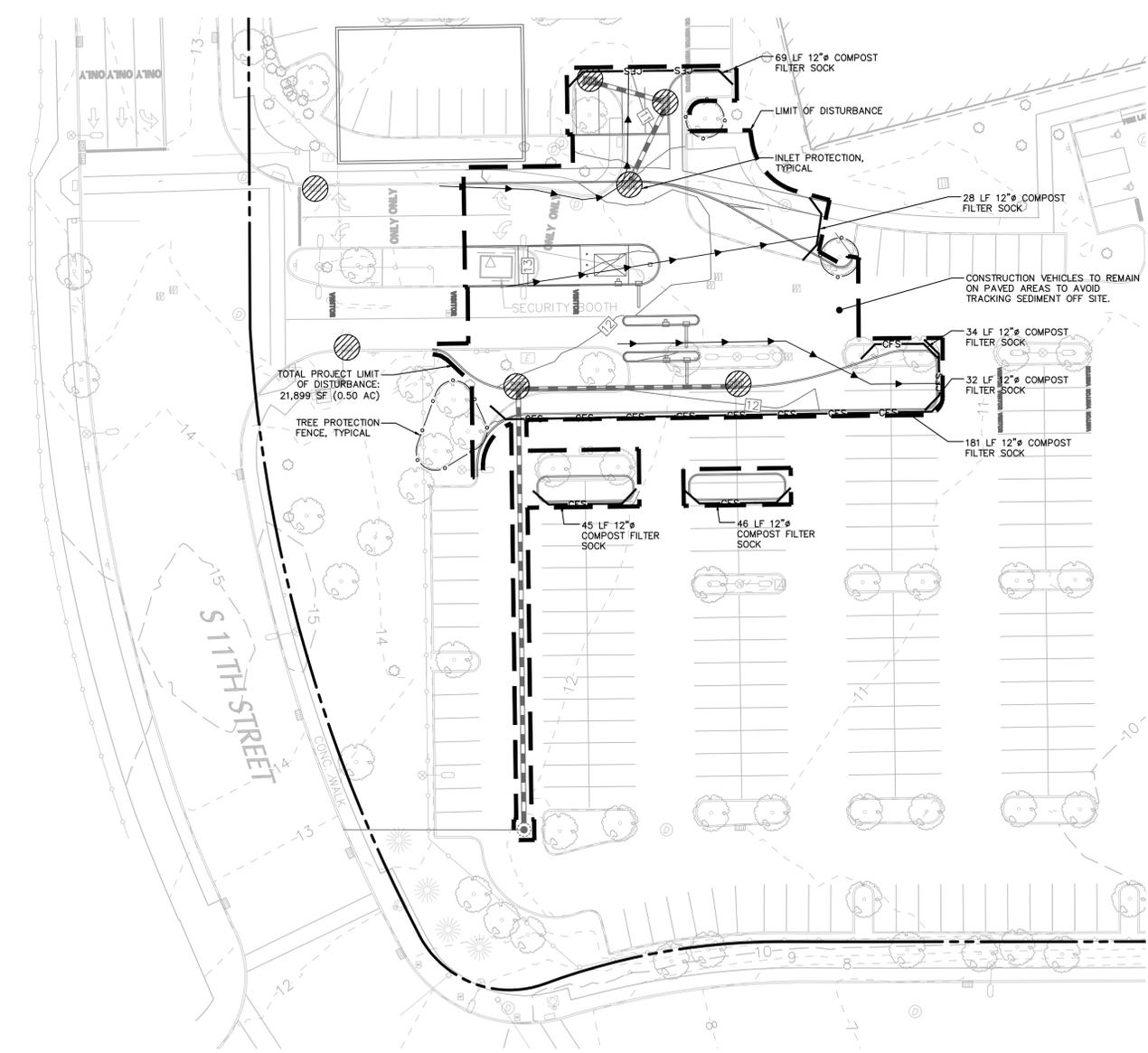
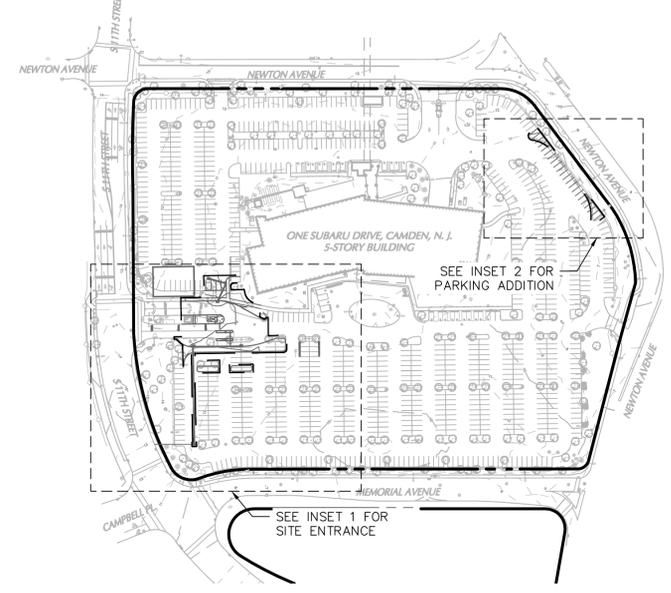
DUST CONTROL NOTES

- | MATERIAL | WATER DILUTION | TYPE OF NOZZLE | APPLY GALLONS/ACRE |
|-----------------------------------|----------------|--|--------------------|
| ANIONIC ASPHALT EMULSION | 7:1 | COARSE SPRAY | 1200 |
| LATEX EMULSION | 12.5:1 | FINE SPRAY | 235 |
| RESIN IN WATER | 4:1 | FINE SPRAY | 300 |
| POLYACRYLAMIDE (PAM) - SPRAY ON | | APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. | |
| POLYACRYLAMIDE (PAM) - DRY SPREAD | | MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS | |
| SUSPENDED COLLOIDS. | | TO FLOCCULATE AND PRECIPITATE | |
| ACIDULATED SOY BEAN SOAP STICK | NONE | COARSE SPRAY | 1200 |
- TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
- SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.
- BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
- CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.
- STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

DISTRICT CONTACT INFORMATION

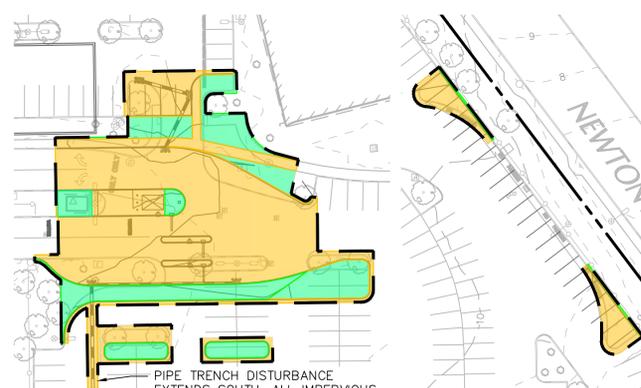
**CAMDEN COUNTY
SOIL CONSERVATION DISTRICT**
423 COMMERCE LANE, SUITE 1
WEST BERLIN, NJ 08091
PHONE: (856) 767-6299
FAX: (856) 767-1676

3 KEY MAP
1" = 150'



4 EXISTING IMPERVIOUS/PERVIOUS AREA
1" = 50'

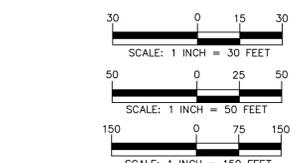
LAND COVER SUMMARY TABLE			
	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	TOTAL AREA (SF)
EXISTING CONDITION	16,662	5,236	21,899
PROPOSED CONDITION	16,516	5,383	21,899
CHANGE	-147	147	0



5 PROPOSED IMPERVIOUS/PERVIOUS AREA
1" = 50'

1 11TH STREET SITE ENTRANCE INSET
1" = 30'

2 PARKING ADDITION INSET
1" = 30'



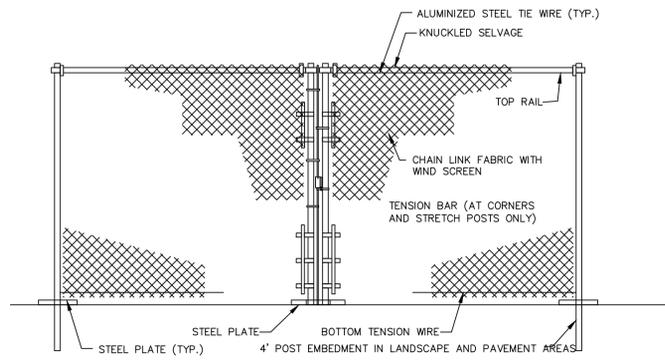
Date	Description	No.
Revisions		
Signature	Date	
KYLE J. MACGEORGE, P.E.	PROFESSIONAL ENGINEER NJ LIC. NO. 24GE05751600	

LANGAN
Langan Engineering and Environmental Services, Inc.
1 University Square Drive, Suite 110
Princeton, NJ 08540
T: 609.282.8000 F: 609.282.8001 www.langan.com
NJ CERTIFICATE OF AUTHORIZATION NO. 24GA27996400

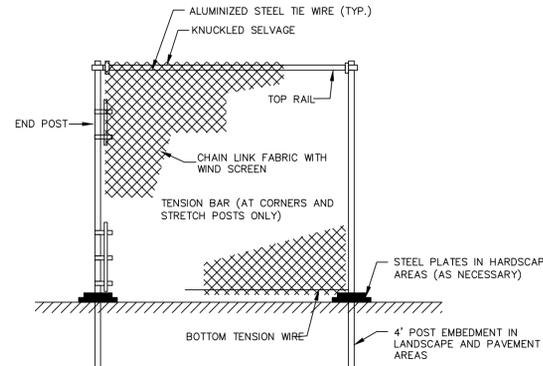
SUBARU TRAFFIC CALMING
AMENDED SITE PLAN FOR BLOCK 1459, LOT 9
1 SUBARU DRIVE
CAMDEN
CAMDEN COUNTY NEW JERSEY

Drawing Title
SOIL EROSION & SEDIMENT CONTROL PLAN

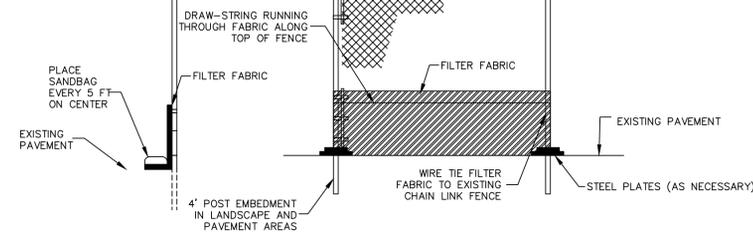
Project No. 220140301	Drawing No. CE101
Date 15 DECEMBER 2023	Sheet 9 of 13
Drawn By JIL	
Checked By JCW	



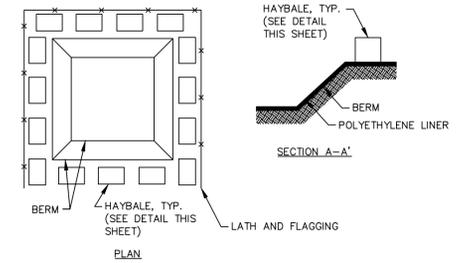
1 TEMPORARY CONSTRUCTION GATE
NOT TO SCALE



2 6-FT TEMPORARY CONSTRUCTION FENCE
NOT TO SCALE

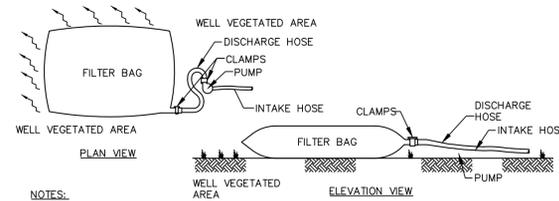


3 SILT FENCE/CHAIN LINK FENCE (IN PAVEMENT AREAS ONLY)
NOT TO SCALE



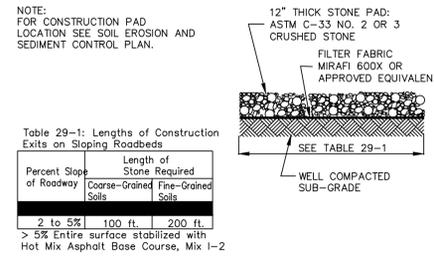
- NOTES:**
1. CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FEET OF THE TEMPORARY WASHOUT FACILITY (SEE DETAIL THIS SHEET).
 2. A NON-COLLAPSING, NON-WATER COLLECTING COVER SHALL BE PLACED OVER THE CONCRETE WASHOUT FACILITY PRIOR TO INCLEMENT WEATHER.
 3. AT OR BEFORE 50% OF THE FACILITY'S CAPACITY IS ATTAINED, DISCONTINUE USE AND CLEAN OUT FACILITY. REMOVE HARDENED CONCRETE AND PROPERLY DISPOSE OR REUSE.
 4. REMOVE WASHOUT FACILITY UPON COMPLETION OF CONCRETE CONSTRUCTION. REMOVE CONTAMINATED SOIL AS NECESSARY.

4 CONCRETE WASHOUT FACILITY
NOT TO SCALE



- NOTES:**
1. FILTER BAG SHALL BE NON-WOVEN GEOTEXTILE WHICH RETAINS ALL SEDIMENT PARTICLES LARGER THAN 180 MICRONS.
 2. FILTER BAGS SHALL BE PLACED ON A STABLE, WELL VEGETATED AREA WITH A GROUND SLOPE NOT EXCEEDING FIVE PERCENT (5%).
 3. CLAMP PUMP DISCHARGE HOSE SECURELY INTO FILTER BAGS.
 4. LIMIT PUMPING RATE TO 1/2 THE MANUFACTURER'S MAXIMUM PUMPING RATE.
 5. WHEN SEDIMENTS FILL 1/2 THE VOLUME OF A FILTER BAG, IMMEDIATELY REMOVE THAT BAG FROM SERVICE PROPERLY. DISPOSE OF SPENT BAGS WITH THEIR SEDIMENTS.

5 SEDIMENT FILTER BAG
NOT TO SCALE

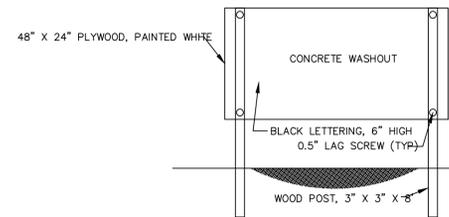


NOTE:
FOR CONSTRUCTION PAD LOCATION SEE SOIL EROSION AND SEDIMENT CONTROL PLAN.

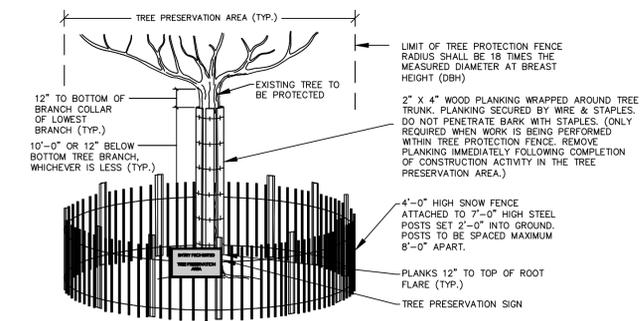
Table 29-1: Lengths of Construction Exits on Sloping Roadbeds

Percent Slope of Roadway	Length of Stone Required	
	Coarse-Grained Soils	Fine-Grained Soils
2 to 5%	100 ft.	200 ft.

> 5% Entire surface stabilized with Hot Mix Asphalt Base Course, Mix 1-2

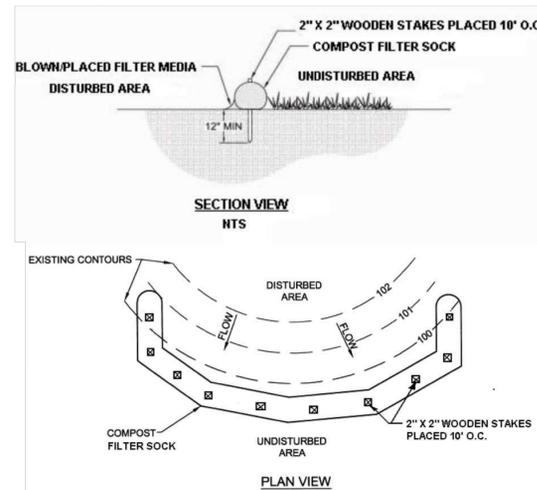


7 CONCRETE WASHOUT SIGN
NOT TO SCALE



- NOTES:**
1. ALL EXISTING TREES WITHIN THE LIMITS OF TREE PROTECTION FENCING SHALL BE PROTECTED THROUGHOUT THE DURATION OF WORK. THE LIMIT OF TREE PROTECTION FENCE RADIUS SHALL BE 18 TIMES THE MEASURED DIAMETER-AT-BREAST-HEIGHT (DBH), UNLESS CONDITIONS WARRANT THE FENCE TO BE LOCATED CLOSER TO THE TREE. THE PROJECT LANDSCAPE ARCHITECT TO APPROVE THE LOCATION OF ALL FENCING PRIOR TO EXCAVATION.
 2. TREE PROTECTION PLANKING SHALL BE INSTALLED ON ALL EXISTING TREES ONLY WHEN WORK IS TO BE DONE WITHIN THE LIMIT OF TREE PROTECTION FENCING. REFER TO DETAIL ON THIS SHEET.
 3. IF TREE PROTECTION FENCING NEEDS TO BE MOVED OR BREACHED DUE TO TEMPORARY CONSTRUCTION ACTIVITY WITHIN THE TREE PROTECTION ZONE, THE FENCING WILL BE RESET TO ITS ORIGINAL LOCATION IMMEDIATELY AFTER CONSTRUCTION WITHIN THE TREE PROTECTION ZONE IS COMPLETE.
 4. TREE PROTECTION FENCING SHALL BE MAINTAINED TO PROTECT TREES AT ALL TIMES. ANY DAMAGED FENCING SHALL BE IMMEDIATELY REPLACED WHEN DAMAGED.
 5. DEMOLITION WORK WITHIN THE TREE PROTECTION FENCE OF PROTECTED TREES SHALL BE PERFORMED BY NON-MECHANICAL METHODS. CONTRACTOR TO PROTECT ROOT MASS AGAINST DAMAGE DURING EXCAVATION. ANY TREE ROOTS THAT ARE DISTURBED, BROKEN, OR CUT SHALL BE PRUNED BACK WITH CLEAN SHARP TOOLS.
 6. ALL TEMPORARILY EXPOSED TREE ROOTS SHALL BE COVERED WITH 2 INCHES OF SHREDDED HARDWOOD MULCH AND THOROUGHLY IRRIGATED ON A DAILY BASIS AS DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT.
 7. ALL WORK TO BE PERFORMED UNDER THE DIRECT SUPERVISION OF EITHER THE OWNER'S REPRESENTATIVE OR THE PROJECT LANDSCAPE ARCHITECT.

8 TREE PROTECTION FENCING AND TREE PLANKING
NOT TO SCALE



9 COMPOST FILTER SOCK
NOT TO SCALE

Date	Description	No.
Revisions		

Signature _____ Date _____
 KYLE J. MACGEORGE, P.E.
 PROFESSIONAL ENGINEER NJ LIC. NO. 24GE05751600

LANGAN
 Langan Engineering and Environmental Services, Inc.
 1 University Square Drive, Suite 110
 Princeton, NJ 08540
 T: 609.282.8000 F: 609.282.8001 www.langan.com
 NJ CERTIFICATE OF AUTHORIZATION NO. 24GA27996400

Project
SUBARU TRAFFIC CALMING
AMENDED SITE PLAN FOR BLOCK 1459, LOT 9
 1 SUBARU DRIVE
 CAMDEN
 CAMDEN COUNTY NEW JERSEY

Drawing Title
SOIL EROSION & SEDIMENT CONTROL DETAILS

Project No. 220140301	Drawing No. CE501
Date 15 DECEMBER 2023	
Drawn By JIL	
Checked By JCW	

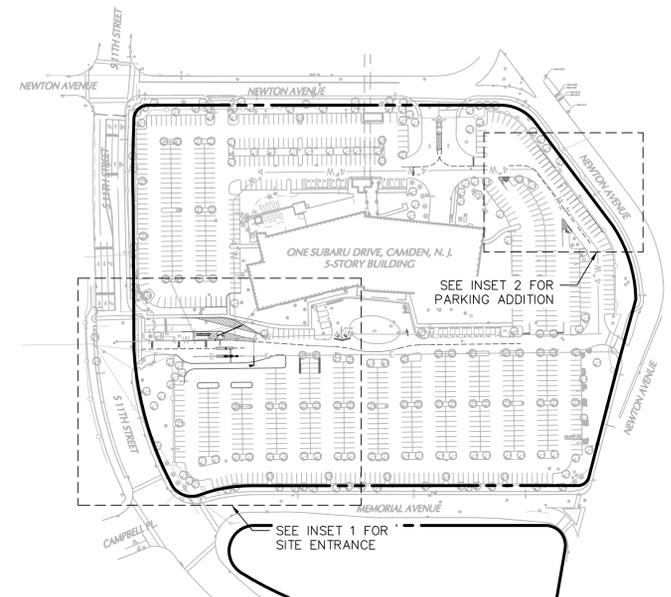
LEGEND

-  CURB
-  GRASS
-  CONCRETE
-  STANDARD DUTY ASPHALT
-  HEAVY DUTY ASPHALT
-  MILL AND OVERLAY
-  CONSTRUCTION BASELINE
-  PROPERTY LINE

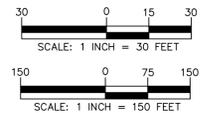
SITE NOTES

1. OWNER/APPLICANT: SC GARDEN STATE GROWTH ZONE URBAN RENEWAL DEVELOPMENT ENTITY, INC.
ONE SUBARU DRIVE
CAMDEN, NJ 08103
2. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO THE EXECUTION OF CONTRACTS OR COMMENCING WORK. ANY DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER OF RECORD.
3. AS PER THE NATIONAL FLOOD INSURANCE PROGRAM FIRM MAPS TITLED "CITY OF CAMDEN, CAMDEN COUNTY, NEW JERSEY, COMMUNITY PANEL 340070028F, LAST REVISED 08/17/2016" THE PROPERTY LIES IN "ZONE AE", DESCRIBED BY FEMA AS "SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD" WITH BASE FLOOD ELEVATION DETERMINED AS ELEVATION 10 IN NAVD88. THE PROPERTY ALSO LIES IN "OTHER FLOOD AREAS: ZONE X", DESCRIBED BY FEMA AS "AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD". THE PROPERTY ALSO LIES IN "OTHER AREAS: ZONE X" DESCRIBED BY FEMA AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN".
4. PROPOSED SITE IMPROVEMENTS DO NOT TAKE PLACE WITHIN ZONE AE.
5. ALL CURBS TO BE 6 INCHES UNLESS OTHERWISE SPECIFIED.
6. ALL REGULATORY SIGNS AND TRAFFIC MARKINGS SHALL COMPLY WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
7. SEE SHEET CS101 FOR DELINEATION OF PAVING MATERIALS.
8. SEE SHEET CS201 FOR STRIPING AND SIGNAGE.

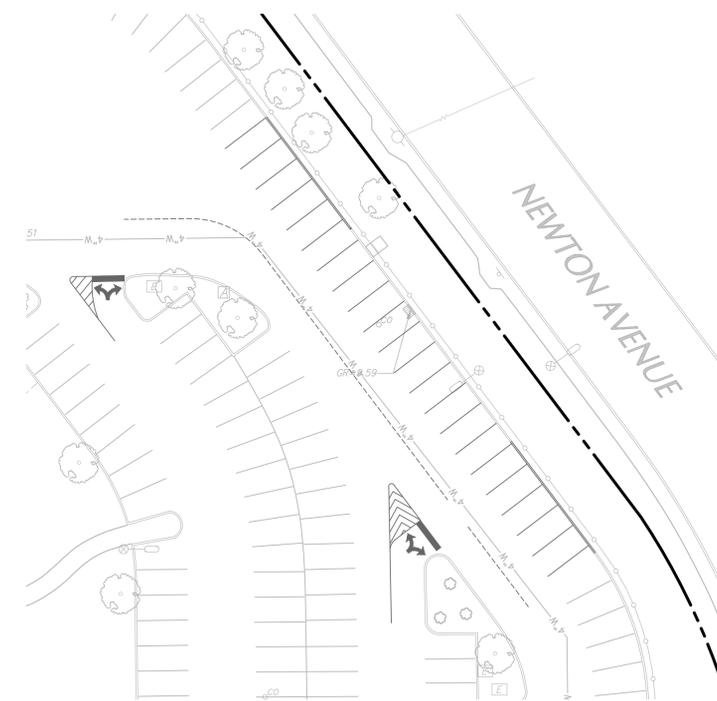
ALL PROPOSED CURBS SHALL BE 6" REVEAL CITY OF CAMDEN VERTICAL CURB, UNLESS OTHERWISE NOTED, REGARDLESS OF WIDTH FROM FACE OF CURB TO BACK OF CURB SHOWN ON PLAN.



3 KEY MAP
1" = 150'



1 11TH STREET SITE ENTRANCE INSET
1" = 30'



2 PARKING ADDITION INSET
1" = 30'

Date	Description	No.
Revisions		
Signature		Date
KYLE J. MACGEORGE, P.E. PROFESSIONAL ENGINEER NJ LIC. NO. 24GE05751600		
LANGAN		
Langan Engineering and Environmental Services, Inc.		
1 University Square Drive, Suite 110 Princeton, NJ 08540		
T: 609.282.8000 F: 609.282.8001 www.langan.com NJ CERTIFICATE OF AUTHORIZATION NO. 24GA27996400		
Project		
SUBARU TRAFFIC CALMING		
AMENDED SITE PLAN FOR BLOCK 1459, LOT 9		
1 SUBARU DRIVE CAMDEN		
CAMDEN COUNTY NEW JERSEY		
Drawing Title		
UTILITY PLAN		
Project No.		Drawing No.
220140301		CU101
Date		
15 DECEMBER 2023		
Drawn By		
JLL		
Checked By		
JCW		
		Sheet 11 of 13